



MINISTRY OF AGRICULTURE, TRADE, LANDS, HOUSING AND THE ENVIRONMENT

P.O. Box 272

Brades, MSR1110

Montserrat

West Indies

Tel: (664)-491-2075/2546

Fax: (664)-491-9275

E-Mail: malhe@gov.ms

24th November 2017

MATLHE 11/2

Dear Sir/Madam

Re: Tender for MATHLE Social Housing, "The Construction of Two Bedroom Unit" at Look Out, Lot 157

You are invited to submit a tender for the above captioned project. Included are the tender documents consisting of:

1. Instruction to tenderers
2. Document checklist
3. Form of Tender
4. Bill of Quantities
5. General Conditions of Contract
6. Anti-Collusion Statement
7. Evaluation Criteria
8. Post Contract Performance Report
9. Schedule A – Labour Rates
10. Schedule B – Material Prices
11. Schedule C – Construction Equipment
12. Schedule D – List of Proposed Sub-Contractors
13. Specifications
14. Tender Drawings

All tender packages can be accessed on the Government of Montserrat website at www.gov.ms. Please return a **completed** set of document of the priced and signed Form of Tender, Completed Document Checklist, Signed anti-collusion statement, Completed Schedules A-D and a copy of your **tax compliance certificate (if locally based)**. **These should be placed in a sealed inner envelope and addressed to the Chairman, Public Procurement Board, Ministry of Finance and Economic Management, Government**

Headquarters, MSR1110, Montserrat. The name of the project should also be written on this inner envelope and should read, "Tender for MATHLE Social Housing, "The Construction of Two Bedroom Unit", at Look Out, Lot 157. The name of the tenderer should also be written on the inner envelope.

The inner envelope should then be placed into an outer envelope addressed to the Chairperson, Public Procurement Board, Ministry of Finance and Economic Management, Government Headquarters, MSR1110, Montserrat. The name of the project should also be written on this inner envelope and should read, "Tender for MATHLE Social Housing, "The Construction of Two Bedroom Unit", at Look Out, Lot 157. The outer envelope should bear no identification of the tenderer.

Tenders are to be received no later than **2pm on Wednesday 20th December 2017**. Please ensure no additional marks are placed on the outer envelope.

A site visit will be arranged for **10:00am-11:45am on Wednesday 6th December 2017** at the Look Out site.

All queries relating to the tender or works included should be made in writing to Linda Dias, Government Architect, MCWL at diasla@gov.ms.

Yours faithfully



.....
Mrs. Daphne Cassell
Permanent Secretary
Ministry of Agriculture, Trade, Housing, Land and Environment

MATHLE SOCIAL HOUSING “THE CONSTRUCTION OF TWO BEDROOM UNIT” AT

LOOK OUT LOT 157

INSTRUCTIONS TO TENDERER

Tender Documents and Instructions

- A Tenderers will be supplied with the following tender documents:-
- Tender Dossier
 - Tender Drawings
- B Invitation Letter/verbal confirmation was done.
- C Tender Drawings prepared by the Architect, Ministry of Communication, Works and Labour.
- D Bills of Quantities prepared by the Quantity Surveyor, Ministry of Communication, Works and Labour.
- E One copy of the above mentioned tender documents will be supplied to tenderers. Tenderers must comply strictly with the following instructions; failure to do so is liable to cause your tender to be rejected.
- F. Documents to be submitted together with the Form of tender:
1. Instruction to Tenderers
 2. Document Check List
 3. Form of Tender
 4. Bill of Quantities
 5. Tax Compliance Certificate **(if locally based)**
 6. General Conditions of Contract
 7. Signed Anti-Collusion Statement
 8. Evaluation Criteria
 9. Post Contract Evaluation
 10. Schedule A-labour rates
 11. Schedule B-material prices
 12. Schedule C-construction equipment
 13. Schedule D-list of proposed sub-contractors
 14. Construction Programme
 15. Method Statement/ Risk Assessment
- G This tender is based on the Drawings presented, Specifications, General Conditions of contract (JCT SBC/Q 2011) and Bills of Quantities including schedules A - D (measured works section), hereinafter is referred to as the Contract Documents.

MATHLE SOCIAL HOUSING “THE CONSTRUCTION OF TWO BEDROOM UNIT” AT
LOOK OUT LOT 157

Scope of the Works

- A Contract provides for:-
- B The supply of all materials, labour, equipment and temporary facilities to safely Complete “The Construction of a Two-bedroom unit at Look Out LOT #157 as detailed In the Tender Documents.
- C The proposed works are described in the Drawings, Scope of Works and Bills of Quantities which are provided to the tenderers.

MATHLE SOCIAL HOUSING “THE CONSTRUCTION OF TWO BEDROOM UNIT” AT

LOOK OUT LOT 157 (Cont'd)

INSTRUCTIONS TO TENDERER (Cont'd)

Explanation of Documents

- A If any point/s in the documents issued for the purpose of tendering are not clear, the tenderer is especially asked to telephone the Public Works Department at +664 491 6611 or +664 491 8566 to clarify any Queries on the drawings or in the Bills of Quantities. The Project Architect will provide explanations by the issue of an addendum to confirm answers given, and not less than 7 working days prior to the date fixed for the delivery of tenders, and a copy of such addendum will be dispatched to all parties who have taken sets of the tender documents. Any addendum so issued will be incorporated in the contract documents.
- All information given on the drawings or in the contract documents relating to materials encountered, ground-water, sub-surface conditions, natural phenomena, existing services and pipes is from the best source available to the Employer at preparation of tender documents. All such information is furnished only for the information and convenience of tenderers.

Statements to Tenderer

- A Neither the Employer; Government of Montserrat., nor any of its agents or servants shall be bound by held liable for any statement made or delivered to any tenderer unless such a statement shall have been confirmed by a circular letter to tenderers issued by the Project Architect.
- B Each Tenderer shall familiarize itself with the site and all works required including services to be installed under this and any sub-contract and bring to the attention of the Project Architect any apparent areas of conflict, at an early enough stage to ensure that appropriate steps can be taken and instructions issued, without

jeopardizing any aspects of the various services installations and hand over of the finished building as a whole.

- C Tenderers are advised that the Government of Montserrat in an effort to improve Contractor Performance and provide Client satisfaction in achieving value for money, will undertake a 'Contractor Performance Report' at the end of contract. A form has been included in the tender pack and this will be the tool used to measure and assess the contractor's performance in achieving the project objectives. The contractor performance during contract implementation will be assessed at close out and the level of client's satisfaction for the completed works will form part of the measureable indicators along with cost time and successful completion and delivery of the scope.

MATHLE SOCIAL HOUSING "THE CONSTRUCTION OF TWO BEDROOM UNIT" AT

LOOK OUT LOT 157 (Cont'd)

INSTRUCTIONS TO TENDERER (Cont'd)

Tenderer to Investigate Before Tendering

- A The tenderer will be deemed to have read and examined all the documents and he/she shall satisfy him or herself as to all matters and eventualities which can in any way influence his or her tender. Any neglect or failure on the part of the tenders to obtain reliable information upon any matters affecting the cost, time, quality, execution, construction, completion, testing and commission of the Works and the Contract shall not relieve the persons whose Tender is accepted from any risks or liabilities for the complete Works, nor will any claim for increase of the Contract be entertained as a result of such negligence.

- B The tenderers are required to visit and examine the site and its surroundings, and he/she may obtain for him or herself all the information that may be necessary for compiling his or her tender. He/she must examine the tender documents and ascertain the matters on which he/she will be deemed to have satisfied him or herself with all the risks and obligations which the Contract will impose on the Contractor, submission of the tender therefore shall be considered conclusive evidence of such.
- C The tenderer shall submit his or her tender with the understanding that the tender documents are intended to cover all the work within the scope of the Contract, and that unless expressly excluded, any and all labour and materials not indicated therein, but necessary to complete any part of work, shall be considered as included and shall be furnished.
- D Any alteration made by a tenderer to the documents issued for the purpose of tendering or omission by him or her to complete fully and return every document as required by this notice to tenderers, unless otherwise instructed by the Project Architect, may preclude consideration of the tender by the Employer. Should any further information be required, it will be supplied on request by the Project Architect.

Bills of quantities

- A Quantities contained within the Bills of Quantities do not necessarily indicate conclusively the amount or the extent of works to be preformed. The tenderer must satisfy himself or herself as to the general accuracy of the quantities given in the bill of quantities and must provide accordingly in the tender rates. If he/she considers that any quantity may differ materially from the figure given in the bills of quantities, he/she must call attention to the fact in a letter accompanying the tender. The tenderer must not insert additional items in the bills of quantities, but must provide for all his/her obligations under the Contract in the rates and prices entered against the items provided. An all-in rate comprising of labour, material, transportation and plant must be entered against every item in the bills of quantities. If any item is left un-priced it shall be deemed as allowed for elsewhere. The schedules must also be completed if provided in the tender documents.

MATHLE SOCIAL HOUSING “THE CONSTRUCTION OF TWO BEDROOM UNIT” AT

LOOK OUT LOT 157 (Cont'd)

INSTRUCTIONS TO TENDERER (Cont'd)

Currency of Tender

- A Tenders shall be priced in Eastern Caribbean Dollars. Rates and prices shall be inclusive of applicable taxes. In order to keep the bidding process as fair and simple as possible, please bid as a **duty paid** project.
- B The tenderer must familiarize himself/herself with the workings of the Customs Department and shall allow for the costs of and shall accept responsibility for preparing and processing the necessary documents involved in the importation of labour and materials, etc. to be incorporated in the Works.
- C The tenderer must allow for all Wharfage Dues, Package Tax, Importer's Licenses (where applicable), Stamp Duties, taxes and charge that may be required.
- D Special rules are in force in respect of the importation of plant, scaffolding, tools, equipment and consumable stores that are not incorporated in the Works. The tenderers must allow for the result of licenses, bonds deposits, duties, taxes, stamp duties or any other charges that may be required.
- E. The **Hon F.S.** has advised that Contractors are to reduce their dependency on GOM taking the **Risk** of providing substantial Advanced Payments to them. In addition, consideration with strong supporting evidence will be required for all Advanced payment request Contractors put in their Payment Schedules of more than **15%**. Except in cases where there is an exemption from tax, of which proof must be provided; residents of Montserrat for tax purposes are subject to tax on the profits from this project while non-residents are liable to a 20% Withholding Tax deduction from the gross amount.

MATHLE SOCIAL HOUSING “THE CONSTRUCTION OF TWO BEDROOM UNIT” AT

LOOK OUT LOT 157 (Cont'd)

INSTRUCTIONS TO TENDERER (Cont'd)

Return of Tenders

Tenders shall be sent to: -

- A **The Chairman of the Central Procurement Board
Ministry of Finance and Economic Management,
Government Headquarters,
Brades,
Montserrat**

- B Tenders shall be made on the appropriate Form of Tender included in the tender documents. The complete tender shall be submitted in a plain sealed envelope or package clearly marked on the outside: -

- C **TENDER FOR MATHLE SOCIAL HOUSING “THE CONSTRUCTION OF TWO
BEDROOM UNIT” AT LOOK OUT LOT 157 MONTSERRAT**

- D The envelope or package shall bear no indication of the identity of the sender.

- E Tenders shall reach the above address no later than; **As indicated on the Invitation to Tender.**

MATHLE SOCIAL HOUSING “THE CONSTRUCTION OF TWO BEDROOM UNIT” AT

LOOK OUT LOT 157 (Cont'd)

INSTRUCTIONS TO TENDERER (Cont'd)

Information to be Completed by the Tenderer

- A Tenderer shall complete the tender documents so provided. Each Tender must contain the name, residence and place of business of the person or persons making the Tender and must be signed by the Tenderer with his usual signature. Tenders by partnership must furnish the full names of all partners and must be signed with the partnership name by one of the members of the partnership or by an authorised representative followed by the signature and designation of the person signing. Tenders by corporation to be signed with the legal name of the corporation followed by the date and name of the State of incorporation and by the signature and designation of the President, Secretary or other person authorized to bind it in the matter. Satisfactory evidence of the authority of the signer on behalf of the firm shall be furnished.

Responsibility for Tender

- A The Employer, Government of Montserrat will not be responsible for, or pay for, any expense or loss which may be incurred by the tenderer in the preparation of his tender.
- B The Tenderer to whom the award is made may be required to furnish, and deliver to the Employer, a written bond of indemnity, of the same form as that in security forms section of the tender document, in the amount of ten percent (10%) of the Contract

Price, and with surety thereon acceptable to the Employer. The bond shall be furnished and maintained at the expense of the Contractor. The party to whom the Contract is awarded will be required to execute the Contract and (if required) furnish the Performance Bond duly executed within seven days, not including Sunday or Legal Holiday. Failure to so execute the Contract shall be sufficient reason for the Project Architect to cancel the award without obligation or claim upon the Employer.

MATHLE SOCIAL HOUSING “THE CONSTRUCTION OF TWO BEDROOM UNIT” AT

LOOK OUT LOT 157 (Cont'd)

INSTRUCTIONS TO TENDERER (Cont'd)

A Increases / Decreases in Cost of Labour and Materials

- i. Increases / decreases in the current cost of labour and materials subsequent to the date for closing of Tenders will not result in an adjustment to the Contract Price.
- ii. Basic unit costs of labour and certain materials upon which the Tender is based and upon which dayworks and variations will be considered shall be listed in the Schedule listed in the preliminary Appendix. These Schedules shall be completed and submitted with the Tender. Failure to submit them may lead to disqualification of the Tender.

Bribery

- A The offer of a bribe or other inducement to any person with the object of influencing the placing of the Contract will result in instant rejection of the tender concerned.

Time for Commencement

- A Tenderers are advised that the actual work of this Contract must not be started until a “**Notice to Commence Work**” has been issued by the Project Architect. The Contractor shall, however, commence work no later than the date specified in the above Notification.

Time for Completion

- A The time for completion for the complete contract is to be determined by the tenderer in the Form of Tender.

MATHLE SOCIAL HOUSING “THE CONSTRUCTION OF TWO BEDROOM UNIT” AT

LOOK OUT LOT 157 (Cont'd)

INSTRUCTIONS TO TENDERER (Cont'd)

Validity of Tender

- A The tender shall be valid for 90 calendar days from the date fixed for public or private opening of tenders. During this period the tender is irrevocable. The Employer shall notify the successful tenderer (if any) of its acceptance within the period of the tender validity. The Tenderer to whom the award is made will be required to enter into an agreement with the Employer. This agreement will be of the form that is in the Tender Documents, and stated earlier.

Acceptance of Tender

- A The Employer, Government of Montserrat does not bind itself to accept the lowest or any tender nor to assign any reason for the rejection of any tender. Tenders may be declared void if the tender sum exceeds the funds available for the works.

Errors in the Tender

- A Errors discovered in the Contractor's Tender will be dealt with as follows:
The Contractor will be given details of such errors and afforded an opportunity of confirming or withdrawing his offer. If the Contractor withdraws, the tender of the second most advantageous tenderer will be examined, and if necessary this

Contractor will be given a similar opportunity.

Ministry of Agriculture, Trade, Housing, Land and Environment
Tender Document Checklist

Project Title: **Tender for MATHLE Social Housing, “The Construction of Two Bedroom Unit” at Look Out, Lot 157.**

Date scheme advertised: 24 November 2017

Tender Deadline Date: Wednesday 20 December 2017

Tender Deadline Time: **2:00pm**

Below are the following documents that should be provided for a contractor’s tender to be valid. Bidders are asked to supply and tick off the following information. Failure to provide any of the stated documents will result in the tender being considered non-compliant and rejected.

The below documents should be presented with their bid to ensure that their bid is valid.

Signed Form of Tender (Including time for completion and notice period)	▣
Completed Bill of Quantities	▣
Tax Compliance Certificate	▣
Signed Anti-Collusion Statement	▣
Schedule A - D	▣
Construction Programme	▣
Method Statement	▣
Proposed Payment Schedule	▣
Details of Contractor Experience	▣

.....
Signed on behalf of Contractor

.....
Date

FORM OF TENDER

The Chairperson
Public Procurement Board
Ministry of Finance and Economic Management
Brades
Montserrat

Dear Sir/Madam;

**Re: Tender for MATHLE Social Housing, “The Construction of Two Bedroom Unit”
at Look Out, Lot 157.**

I/We the undersigned undertake to construct and complete the above Works in
accordance with the General Conditions of Contract, Specifications and Drawings for the
sum of:

EC\$

.....
(words).....
.....
.....

If my/our tender is accepted, I/We undertake to commence the Works within **7 days**
from the date of receipt by me/us of the official order and complete the works within **90**
days from the date of receipt by me/us of the official order.

I/We understand I/We shall not be reimbursed for any cost that may have been incurred
in compiling this tender. I/We confirm this tender shall remain valid for a period of 90
days from the date of submission of this tender.

Name.....

Signed.....

Name of firm (If Applicable)

Address.....

.....

Tel. nr.....

Fax nr.....

Email Address

Date.....

APPENDIX TO FORM OF TENDER

Clauses

Amount of Bond or Guarantee (if required):	10 percent of Contract Sum
Amount of Third Party Insurance	EC. \$700,000.00
Period for commencement from Notification of Award of Contract Calendar Days **
Time for completion Calendar Days **
Amount of Liquidated Damages	EC \$2,450 per day or part thereof
Period of Maintenance	12 months
Percentage of Retention	5 percent
Limit of Retention Money	5 percent of Contract Sum
Time within which payment to be made after issue of Certificate	14 Calendar Days

** To be filled in by Tenderer

Substructure
Two Bedroom Unit Look Out

				\$	c
<u>D GROUNDWORK</u>					
<u>D20 EXCAVATING AND FILLING</u>					
<u>Site preparation</u>				(02)	
Clearing site vegetation					
A	bushes, scrub, undergrowth, hedges and trees and tree stumps not exceeding 600 girth	4840	sf		
<u>Excavating</u>				(02)	
Trenches not exceeding 2'-0" wide					
B	7'-0" maximum depth	46	cy		
C	4'-0" maximum depth	20	cy		
Extra over excavation irrespective of depth for breaking out					
D	rock	1	cy		
<u>Earthwork support</u>				(02)	
To faces of excavation					
E	; distance between opposing faces not exceeding 2'-0"	1736	sf		
<u>Disposal</u>				(02)	
Surface water					
F	generally	ITEM			
Excavated material					
G	off site; to location by contract administrator and depositing	4	cy		

To Collection

\$ c

D GROUNDWORK

Collection

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To Summary

Substructure
Two Bedroom Unit Look Out

						\$	c
	<u>E IN SITU CONCRETE/LARGE PRECAS</u>						
	<u>CONCRETE</u>						
A	<u>E10 IN SITU CONCRETE</u>						
	<u>Reinforced</u>			(06)			
	Foundations						
	generally; poured on or against earth or unblinded hardcore	4	cy				
B	<u>E20 FORMWORK FOR IN SITU</u>						
	<u>CONCRETE</u>						
	<u>Formwork</u>			(10)			
	Sides of foundations						
	not exceeding 0'-10" high	33	sy				
C	<u>E30 REINFORCEMENT FOR IN SITU</u>						
	<u>CONCRETE</u>						
	<u>Reinforcement</u>			(07)			
	Bars						
	ladder mesh 5/8";	183	ly				
	bent in walls	299	kg				
	5/8"; straight in foundations in retaining walls	146	kg				
	5/8"; straight in foundations	267	kg				
	5/8"; bent in retaining walls footings	14	kg				
	5/8"; links in foundations	54	kg				

To Summary

To Summary

\$ c

D GROUNDWORK

Summary

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To General Summary

Superstructure
Two Bedroom Unit Look Out

						\$	c
<u>E IN SITU CONCRETE/LARGE PRECAS CONCRETE</u>							
<u>E10 IN SITU CONCRETE</u>							
<u>Reinforced</u>				(06)			
Slabs							
A	not exceeding 6" thick; sloping not exceeding 15 degrees	956	sf				
B	4" thick; poured on or against earth or unblinded hardcore; externally	38	sf				
Isolated beams							
C	generally	8	cy				
Columns							
D	generally	4	cy				
Staircases							
E	generally	1	cy				
<u>E20 FORMWORK FOR IN SITU CONCRETE</u>							
<u>Formwork</u>				(10)			
Sides of staircase							
F	not exceeding 6" high	3	sf				
Edges of slabs							
G	not exceeding 6" high	59	ly				
Soffits of beams							
H	not exceeding 8" thick	23	sf				

To Collection

Superstructure
Two Bedroom Unit Look Out

						\$ c
A	Isolated beams					
	rectangular	533	sf			
B	Columns attached to walls					
	rectangular	622	sf			
<u>E30 REINFORCEMENT FOR IN SITU CONCRETE</u>						
<u>Reinforcement</u>			(07)			
Bars						
C	ladder mesh	182	ly			
D	5/8"; straight in staircase	34	kg			
E	5/8"; straight in walls	217	kg			
F	5/8"; straight in staircase	26	kg			
G	5/8"; bent in beams	505	kg			
H	5/8"; straight in columns	420	kg			
J	5/8"; straight in beams	506	kg			
Fabric						
K	Ref No #66 wire mesh	1292	sf			

To Collection

U CONCRETE/LARGE PRECAST CONCRETE

\$ c

Collection

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To Summary

Superstructure
Two Bedroom Unit Look Out

\$ c

F MASONRY

F10 BRICK/BLOCK WALLING

Blockwork

Walls

A

8" thick

96

sy

(11)

B

8" thick in retaining walls

7 rov sum

To Summary

Superstructure
Two Bedroom Unit Look Out

\$ c

G STRUCTURAL/CARCASSING
METAL/TIMBER

G20 CARPENTRY/TIMBER
FRAMING/FIRST FIXING

Sawn hardwood

(20)

Framed supports

A 2" x 4" treated

204

If

intermediate post

B 4" x 4" treated

6

If

C 2" x 3" treated

100

If

handrail

D 2" x 3" treated

6

If

Top and Bottom rail

E 2" x 3" treated

31

If

To Summary

Superstructure
Two Bedroom Unit Look Out

					\$ c
	<u>K LININGS/SHEATHING/DRY PARTITIONING</u> <u>K40 SUSPENDED CEILINGS</u> <u>Suspended linings; Spec 1/2" mildew resisting drywall ceiling</u> Ceilings A suspension not exceeding 6" deep; 8'-2" above floor level	204	(42) sf		

To Summary

U CONCRETE/LARGE PRECAST CONCRETE

\$ c

Summary

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To General Summary

Doors and Windows
Two Bedroom Unit Look Out

						\$	c
<u>L WINDOWS/DOORS/STAIRS</u>							
<u>L13 UPVC</u>							
<u>WINDOWS/ROOFLIGHTS/SCREENS/LO</u>							
<u>VRES</u>							
<u>UPVC</u>							
Windows and window frames							
A	3'-0" x 3'-0"; Type ; Double Hung sliding sash with tilt opening feature complete with locking hardware and insect screens as stated in the specification document	1	nr				
B	2'-2" x 2'-2"; Type ; Double Hung sliding sash with tilt opening feature complete with locking hardware and insect screens as stated in the specification document	5	nr				
C	3'-6" x 4'-0"; Type ; Double Hung sliding sash with tilt opening feature complete with locking hardware and insects screens; as stated in the specification document	7	nr				
<u>L20 TIMBER</u>							
<u>DOORS/SHUTTERS/HATCHES</u>							
<u>Panelled</u>							
Doors							
D	3'-0" X 6'-8"; standard ironmongery with privacy lock and deadbolt	1	nr				
E	as dimensioned diagram on drawing# A-601; Type cedar fielded 4 panel door; 2'-4" x 6'-8"	1	nr				
F	as dimensioned diagram on drawing# A-601; Type cedar full louvre door; 2'-4" x 6'-8"	1	nr				
G	as dimensioned diagram on drawing# A-601; Type pine fielded 4 panel door; 2'-4" x 6'-8"	1	nr				
H	as dimensioned diagram on drawing# A-601; Type pine fielded 4 panel door; 2'-8" x 6'-8"	3	nr				

To Collection

Doors and Windows
Two Bedroom Unit Look Out

					\$ c
	<u>Wrot hardwood</u>		(25)		
	Architraves				
A	1" x 3"; screwing to the wall with wall screws	226	If		
	Door Stops				
B	1" x 2"; screwing to door frame with wood screws	115	If		
	Door frames				
C	jamb 2" x 6"; screwing to wall with wall screw	96	If		
D	heads 2" x 6"; screwing to wall with wall screw	20	If		
	<u>Aluminium</u>		(29)		
	Doors with frames				
E	3'-0" X 6'-8"; standard ironmongery !	1	nr		

To Collection

\$ c

L WINDOWS/DOORS/STAIRS

Collection

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To Summary

Doors and Windows
Two Bedroom Unit Look Out

				\$	c
<u>M SURFACE FINISHES</u>					
<u>M60 PAINTING/CLEAR FINISHING</u>					
<u>Painting wood</u>				(44)	
General surfaces					
A	not exceeding 300 girth; to architrave	10	sy		
B	not exceeding 300 girth; to door stop	4	sy		
C	not exceeding 300 girth; to door frames	11	sy		
<u>Staining wood</u>				(44)	
pine raised panel door					
D	over 300 girth	10	sy		

To Summary

\$ c

L WINDOWS/DOORS/STAIRS

Summary

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To General Summary

Joinery and Fitting
Two Bedroom Unit Look Out

				\$	c
<u>N FURNITURE/EQUIPMENT</u>					
<u>N10 GENERAL</u>					
<u>FIXTURES/FURNISHINGS/EQUIPMENT</u>					
<u>Wrot hardwood</u>			(24)		
Wardrobes					
A	consisting of 4 shelves, 3/4" plywood on 3/4" x 1 1/5" supports; as dimensioned diagram on drawing# W-01	2	nr		
Cupboards					
B	1'-0" wide x 2'-6" long x 3'-0" high wall unit; consisting of 3/4" x 1 1/2" hard wood supports and frame with 3/4" thick plywood shelves; to include timber doors and all ironmongery	2	nr		
C	12'-0" long x 3'-0" high floor unit; irregular shape consisting of 3/4" x 1 1/2" wrot hardwood supports and frame with 3/4" thick plywood shelves with corrian countertops; including doors and drawers and all ironmongery and forming space for kitchen sink	1	nr		
D	1'-7" wide x 3'-6" long x 3'-0" high bathroom floor unit; consisting of 3/4" x 1 1/2" wrot hardwood supports and frame with 3/4" thick plywood shelves with corrian countertops; including doors and drawers and all ironmongery and forming space for sink	1	nr		
<u>N13 SANITARY APPLIANCES/FITTINGS</u>					
<u>Lavatory basins</u>			(36)		
Basins					
E	as specification which is indicated in the document	1	nr		
F	as specification which is provided in the document	1	nr		

To Collection

Joinery and Fitting
Two Bedroom Unit Look Out

						\$	c
<u>Sinks</u>			(36)				
Sinks with single drainers combined							
A	as specification as stated in the document	1	nr				
Cleaners sinks							
B	as specification as stated in the document	1	nr				
<u>Water closets</u>			(36)				
Suites							
C	as specification as instructed in the specifications in the document	2	nr				
<u>Miscellaneous fittings</u>			(36)				
Towel rails							
D	as specification iwhich is provided in the document	2	nr				
Soap dispensers							
E	as specification as stated in the document	3	nr				
Toilet paper holders							
F	as specification as stated in the document	2	nr				
Toothbrush holders							
G	as specification as stated in the document	2	nr				

To Collection

\$ C

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RoofTwo Bedroom Unit Look Out

				\$	c
<u>G STRUCTURAL/CARCASSING</u>					
<u>METAL/TIMBER</u>					
<u>G20 CARPENTRY/TIMBER</u>					
<u>FRAMING/FIRST FIXING</u>					
	<u>Wrot hardwood</u>		(25)		
	Rigger bridging				
A	2" x 6" treated	56	If		
	Bridging				
B	2" x 6" treated	40	If		
	Pine blocking				
C	2" x 3" treated	106	If		
	rafters				
D	2" x 6" treated	528	If		
	Fascia boards				
E	2" x 8"	168	If		
	Ridge boards				
F	2" x 8" treated	48	If		
	Laths				
G	2" x 3"	560	If		
	pine chord				
H	2" x 6" treated	26	If		
	<u>Steel</u>		(29)		
	Straps				
J	hurricane	46	nr		

To Summary

Roof
Two Bedroom Unit Look Out

					\$ c
	<u>H CLADDING</u>				
	<u>H21 TIMBER WEATHERBOARDING</u>				
	<u>Plywood; tongued and grooved joints</u>		(20)		
	Roofs				
A	over 12'-0" wide; sloping	1155	sf		
	<u>H32 PLASTICS PROFILED SHEET CLADDING/COVERING/SIDING</u>				
	<u>[Specification]; Spec #15 paper underly as per manufacturers recommendations</u>				
	Roof coverings				
B	flat	1155	m2		
	<u>H74 ZINC SHEET COVERINGS/FLASHINGS</u>				
	<u>metal</u>		(20)		
	Flashings				
C	as specified by project architect	154	lf		
	<u>Asphalt shingles</u>				
	<u>to include algae/fungal resistant coating</u>				
	Roof coverings				
D	pitched; fixing over building paper	1155	sf		

To Summary

RoofTwo Bedroom Unit Look Out

\$ c

M SURFACE FINISHES**M60 PAINTING/CLEAR FINISHING**Painting wood

(44)

General surfaces

A	not exceeding 300 girth;Rigger bridging	38	sf
B	not exceeding 300 girth;to pine chord	35	sf
C	not exceeding 300 girth;bridging	27	sf
D	not exceeding 300 girth; to fascia board	259	sf
E	not exceeding 300 girth; to ridge board	81	sf
F	not exceeding 300 girth; to rafters	618	sf

To Summary

Roof
Two Bedroom Unit Look Out

						\$	c
<u>R DISPOSAL SYSTEMS</u>							
<u>R10 RAINWATER PIPEWORK/GUTTERS</u>							
<u>Drip edge; Spec as per specification document</u>							
metal							
A	fix to decking board	146	If				
<u>Copper pipework</u>			(32)				
Pipes to include gutter bends							
B	3"; fixing by straps	60	If				

To Summary

\$ c

TRUCTURAL/CARCASSING METAL/TIMBER

Summary

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To General Summary

FinishesTwo Bedroom Unit Look Out

				\$	c
<u>M SURFACE FINISHES</u>					
<u>M10 SAND CEMENT/CONCRETE/GRANOLITHIC SCREEDS/FLOORING</u>					
<u>Concrete</u>			(39)		
Floors					
A	level or to falls only not exceeding 15 degrees from horizontal; to concrete	843	sf		
<u>M20 PLASTERED/RENDERED/ROUGHCAST COATINGS</u>					
<u>Render</u>			(38)		
Walls					
B	over 300 wide; to external surfaces	1597	sf		
C	over 300 wide; to blockwork	3351	sf		
<u>M40 STONE/CONCRETE/QUARRY/CERAMIC TILING/MOSAIC</u>					
<u>Ceramic Tiling</u>			(41)		
Walls					
D	over 300 wide	233	sf		
Floors					
E	level or to falls; to concrete	810	sf		
F	level or to falls; to concrete; non-slip on staircase	34	sf		

To Collection

FinishesTwo Bedroom Unit Look Out

				\$ c	
A	<u>Mosaic</u>		(41)		
	Floors				
	to falls and crossfalls and to slopes not exceeding 15 degrees from horizontal; to concrete	15	sf		
	<u>M60 PAINTING/CLEAR FINISHING</u>				
	<u>Painting render</u>		(44)		
	General surfaces				
	B over 300 girth; intermediate post	11	sf		
	C over 300 girth; top and bottom rails and balisters	111	sf sf		
	D over 300 girth; handrails	5	sf sf		
	E over 300 girth; external	1597	(44)		
F	over 300 girth; internal	3351			
	<u>Painting wood</u>				
	General surfaces		sf		
	G over 300 girth; to wardrobe	ITEM	sf		
	H over 300 girth; cabinets	73			
	J ceiling surface	1212			

To Collection

\$ c

M SURFACE FINISHES

Collection

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To Summary

PlumbingTwo Bedroom Unit Look Out

				\$	c
<u>R DISPOSAL SYSTEMS</u>					
<u>R11 FOUL DRAINAGE ABOVE GROUND</u>					
	<u>Plastics pipework</u>		(32)		
	Pipes				
A	4"; in in situ concrete; in chases	17	If		
B	2"; in in situ concrete; in chases	6	If		
<u>R12 DRAINAGE BELOW GROUND</u>					
	<u>Excavating trenches</u>		(32)		
	2"				
C	not exceeding 2'-6" average depth	23	ly		
	4"				
D	not exceeding 2'-6" average depth	58	ly		
	<u>Plastics pipework</u>		(32)		
	Pipes				
E	4"; in trenches	58	If		
F	2"; in trenches	23	If		

To Collection

Plumbing
Two Bedroom Unit Look Out

				\$ c	
<u>Concrete accessories</u>			(45)		
A	manhole				
	2'-0" x 2'-0" internally, depth to invert (typically) 3'-0", constructed of 6" thick reinforced concrete base, 6" block walls reinforced with 1/2" diameter bars at 8" centres vertically with all cavities filled, concrete benching trowelled smooth, 3" concrete cover slab reinforced with 1/2" bars at 6" centres both ways, cement and sand (1:3) rendering to internal sides, and 3" two-part cover slab, each half with two 1/2" diameter rebar handles cast in; Rate to include excavation, earthwork support, disposal, backfilling, concrete base, walls and access cover	3	nr		
B	Grease trap				
	2'-0" x 2'-0" internally, depth to invert (typically) 3'-0", constructed of 6" thick reinforced concrete base, 6" block walls reinforced with 1/2" diameter bars at 8" centres vertically with all cavities filled, concrete benching trowelled smooth, 3" concrete cover slab reinforced with 1/2" bars at 6" centres both ways, cement and sand (1:3) rendering to internal sides, and 3" two-part cover slab, each half with two 1/2" diameter rebar handles cast in; Rate to include excavation, earthwork support, disposal, backfilling, concrete base, walls and access cover	1	nr		
<u>Connecting to Local Authority sewer</u>			(45)		
Montserrat Utilities Limited (MUL)					
C	connection to Davy Hill sewer	1	nr		
<u>[Commissioning, documents]</u>					
D	Testing				
	completed installation	ITEM			

To Collection

Plumbing
Two Bedroom Unit Look Out

A	Commissioning	ITEM				\$ c
	completed installation					

\$ c

R DISPOSAL SYSTEMS

Collection

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To Summary

Plumbing
Two Bedroom Unit Look Out

				\$ c
<u>S PIPED SUPPLY SYSTEMS</u>				
<u>S10 COLD WATER</u>				
<u>Copper pipework</u>				(33)
Flow and return header pipes				
A	1/2"; in trenches	94	If	
B	1/2"; in chases; in walls	41	If	
<u>Brass ancillaries</u>				(BW)
bibb cocks				
C	1/2"; to copper pipe	2	nr	
Check valves				
D	1/2"; wheel head; to copper pipe	1	nr	
Isolating valves				
E	1/2"; wheel head; to copper pipe	17	nr	
<u>Installation generally</u>				(BW)
Testing				
F	completed installation	ITEM		
Commissioning				
G	completed installation	ITEM		
<u>S11 HOT WATER</u>				
<u>Copper pipework</u>				(33)
Flow and return header pipes				
H	1/2"; in floor screeds; in walls	36	If	

To Collection

To Collection

\$ c

S PIPED SUPPLY SYSTEMS

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R DISPOSAL SYSTEMS

Summary

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To General Summary

ElectricalsTwo Bedroom Unit Look Out

\$ c

P BUILDING FABRIC SUNDRIES**P30 TRENCHES/PIPEWAYS/PITS FOR
BURIED ENGINEERING SERVICES**Excavating trenches; Spec average depth 2'-6",
clean out, sand and supply and lay 4" pvc duct

(02)

For services

A 4 core 35mm2 cable

ITEM

Underground ductwork

(BW)

Ducts

B 4 core 35mm2

ITEM

To Summary

ElectricalsTwo Bedroom Unit Look Out

				\$	c
<u>V ELECTRICAL</u>					
<u>SUPPLY/POWER/LIGHTING SYSTEMS</u>					
<u>V20 LV DISTRIBUTION</u>					
<u>PVC; Spec 110 Volt circuit</u>				(EL)	
Conduits					
A	2.5 mm2 wiring to socket outlets	5	nr		
B	2.5 mm2 wiring to solar tank immersion heater	1	nr		
C	2.5 mm2 wiring to illuminated switch	1	nr		
<u>PVC; Spec 240 Volt circuit</u>				(EL)	
Conduits					
D	1.5 mm2 wiring to light fittings	4	nr		
E	6.0 mm2 wiring to transformer	1	nr		
<u>V51 LOCAL ELECTRIC HEATING UNITS</u>					
<u>Equipment</u>				(BW)	
Storage heaters					
F	water heater as per specification	2	nr		
<u>V90 GENERAL LIGHTING AND POWER</u>					
<u>[SMALL SCALE]</u>					
<u>Copper</u>				(EL)	
Earth rods					
G	Type as per specification; driving into ground	1	nr		

To Summary

ElectricalsTwo Bedroom Unit Look Out

					\$ c
	<u>W</u>				
	<u>COMMUNICATIONS/SECURITY/CONTR</u>				
	<u>L SYSTEMS</u>				
	<u>W50 FIRE DETECTION AND ALARM</u>				
	<u>Equipment</u>			(EL)	
	Alarm equipment				
A	Battery operated smoke alarm with C02 detection	4	nr		

To Summary

ElectricalsTwo Bedroom Unit Look Out

				\$ c	
<u>Y MECHANICAL AND ELECTRICAL SERVICES MEASUREMENT</u>					
<u>Y70 SWITCHGEAR AND DISTRIBUTION BOARDS</u>					
	<u>HV Weatherproof switchgear</u>		(EL)		
	Distribution boards				
A	110V	1	nr		
B	220V	1	nr		
<u>Y73 LUMINAIRES AND LAMPS</u>					
	<u>Luminaires</u>		(EL)		
	Wall type				
C	weather protected	4	nr		
D	wall mounted light fixture	11	nr		
	Recessed ceiling type				
E	to be finalise by the Project Architect	5	nr		
	<u>Fluorescent luminaires</u>		(EL)		
	Ceiling type				
F	single tube	1	nr		
G	Double tube	1	nr		
<u>Y74 ACCESSORIES FOR ELECTRICAL SERVICES</u>					
	<u>Accessories</u>		(EL)		
	Surface TV outlets				
H	single outlets	1	nr		

To Collection

ElectricalsTwo Bedroom Unit Look Out

					\$ c
	Surface plate switches				
A	To be finalised by Project Architect; single pole	9	nr		
B	To be finalised by Project Architect; single pole; solar water tank heater	1	nr		
C	To be finalised by Project Architect; two pole	6	nr		
	Surface socket outlets				
D	To be finalised by the Project Architect;220V	6	nr		
E	To be finalised by the Project Architect; 110V	17	nr		
F	To be finalised by the Project Architect;GFCI	4	nr		
	Surface telephone outlets				
G	single outlet	3	nr		

To Collection

ND ELECTRICAL SERVICES MEASUREMENT

\$ c

Collection

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To Summary

\$ c

P BUILDING FABRIC SUNDRIES

Summary

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To General Summary

PreliminariesTwo Bedroom Unit Look Out

					\$	c
<u>A PRELIMINARIES</u>						
<u>A10 PROJECT PARTICULARS</u>						
<u>Title of project and postal address</u>					(BW)	
Look Out Two Bedroom Project; Lot 79						
A	4840.2 square foot					
<u>Names and addresses of:</u>					(BW)	
Employer:						
B	Government of Montserrat					
Architect:						
C	Government of Montserrat					
Quantity Surveyor:						
D	Government of Montserrat					
Civil Engineer:						
E	Government of Montserrat					
Clerk of Works:						
F	Government of Montserrat					
<u>A11 DRAWINGS</u>						
<u>Drawings prepared by the Employer's professional advisers as follows:</u>					(BW)	
Drawings from which the Bills of Quantities have been prepared						
G	The units measurement have been abbreviated in the Bills as follows: - Cubice Feet - cf. Linear Feet - lf. Square Feet - sf. Number -Nr. Pound - lb	ITEM				
H	Name: Public Works Department					

To Collection

Preliminaries
Two Bedroom Unit Look Out

					\$ c
	Drawings from which the Bills of Quantities have been prepared				
A	Address: Brades, Montserrat. MSR 1110				
	<u>A13 DESCRIPTION OF THE WORK</u>				
	<u>Proposed new buildings</u>		(BW)		
	Dimensions and shape of 42'-3 1/2" x 24'-5 1/2"; rectangular shape				
B	14'-11 1/2" total height	ITEM			
	<u>A20 THE CONTRACT/SUB-CONTRACT</u>				
	<u>Conditions of contract or sub-contract</u>		(BW)		
	Form of contract: JCT SBC/Q 2011 Standard Building Contract With Quantities 2011				
C	clause 2.01 General Obligations	ITEM			
D	clause 2.04 Date of Possession - progress	ITEM			
E	clause 2.07 Work not forming part of the Contract	ITEM			
F	clause 2.08 Contract Documents	ITEM			
G	clause 2.09 Construction information and Contractor's master programmes	ITEM			
H	clause 2.10 Levels and setting out of the Works	ITEM			
J	clause 2.12 Further drawings, details and instructions	ITEM			
K	clause 2.13 Preparation of Contract Bills and Employers Requirements	ITEM			
L	clause 2.15 Notices of discrepancies etc.	ITEM			
M	clause 2.24 Materials and goods - onsite	ITEM			
N	clause 2.25 Materials and goods - offsite	ITEM			

To Collection

Preliminaries
Two Bedroom Unit Look Out

					\$ c
	Form of contract: JCT SBC/Q 2011 Standard Building Contract With Quantities 2011				
A	clause 2.26 Related definitions and interpretations	ITEM			
B	clause 2.27 Notice by Contractor of delay to progress	ITEM			
C	clause 2.28 Fixing Completion Date	ITEM			
D	clause 2.30 Practical completion and certificates	ITEM			
E	clause 2.31 Non-Completion Certificates	ITEM			
F	clause 2.32 Payment or allowance of liquidated damages	ITEM			
G	clause 2.32 Person-in-charge	ITEM			
H	clause 2.38 Schedule of defects and instructions	ITEM			
J	clause 2.39 Certificate of Making Good	ITEM			
K	clause 3.01 Access for Architect/Contractor Administrator	ITEM			
L	clause 3.03 Employer's Representative	ITEM			
M	clause 3.04 Clerks of Works	ITEM			
N	clause 3.05 Replacement of Architect/Contractor Administrator or Quantity Surveyor	ITEM			
P	clause 3.06 Contractor's responsibility	ITEM			
Q	clause 3.07 Consent to sub-contracting	ITEM			
R	clause 3.08 List in Contract Bills	ITEM			
S	clause 3.09 Conditions of sub-contracting	ITEM			
T	clause 3.10 Compliance with instructions	ITEM			
U	clause 3.11 Non-compliance with instructions	ITEM			
V	clause 3.12 Instructions other than in writing	ITEM			

To Collection

Preliminaries
Two Bedroom Unit Look Out

					\$ c
	Form of contract: JCT SBC/Q 2011 Standard Building Contract With Quantities 2011				
A	clause 3.13 Provisions empowering instructions	ITEM			
B	clause 3.14 Instructions requiring Variations	ITEM			
C	clause 3.15 Postponement of work	ITEM			
D	clause 3.16 instructions on Provisional Sums	ITEM			
E	clause 3.17 Inspection - tests	ITEM			
F	clause 3.18 Work not in accordance with the Contract	ITEM			
G	clause 3.19 Workmanship not in accordance with the Contract	ITEM			
H	clause 3.20 Executed work	ITEM			
J	clause 3.21 Exclusion of persons from the Works	ITEM			
K	clause 4.01 Work included in the Contract Sum	ITEM			
L	clause 4.02 Adjustment only under the Conditions	ITEM			
M	clause 4.03 Items included in adjustments	ITEM			
N	clause 4.04 Taking adjustments into account	ITEM			
P	clause 4.05 Final adjustment	ITEM			
Q	clause 4.08 Advance payment	ITEM			
R	clause 4.09 Interim payments - due dates and amounts due	ITEM			
S	clause 4.10 Interim Certificates and valuations	ITEM			
T	clause 4.11 Contractor's Interim Applications and Payment Notices	ITEM			
U	clause 4.12 Interim payments- final date and amount	ITEM			

To Collection

Preliminaries
Two Bedroom Unit Look Out

					\$ c
	Form of contract: JCT SBC/Q 2011 Standard Building Contract With Quantities 2011				
A	clause 4.13 Pay Less Notices and general provisions	ITEM			
B	clause 4.14 Contractor's right of suspension	ITEM			
C	clause 4.15 Final Certificate and final payment	ITEM			
D	clause 4.17 Off - site materials and goods	ITEM			
E	clause 4.18 Rules on treatment of Retention	ITEM			
F	clause 4.20 Retention - amounts on periods	ITEM			
G	clause 4.23 Matters materially affecting regular progress	ITEM			
H	clause 4.24 Relevant Matters	ITEM			
J	clause 5.01 Definition of Variations	ITEM			
K	clause 5.02 Valuation of Variations and provisional sum work	ITEM			
L	clause 5.03 Variation Quotation	ITEM			
M	clause 5.04 Contractor's right to be present at measurement	ITEM			
N	clause 5.05 Giving effect to Valuations, agreements etc	ITEM			
P	clause 5.06 Measurable Work	ITEM			
Q	clause 5.07 Daywork	ITEM			
R	clause 6.01 Liability of Contractor - personal injury or death	ITEM			
S	clause 6.02 Liability of Contractor - injury or damage to property	ITEM			
T	clause 6.03 Injury or damage to property - Works and Site Materials excluded	ITEM			

To Collection

Preliminaries
Two Bedroom Unit Look Out

					\$ c
	Form of contract: JCT SBC/Q 2011 Standard Building Contract With Quantities 2011				
A	clause 6.04 Contractor's insurance of his Liability	ITEM			
B	clause 6.05 Contactor's insurance of Liability of Employer	ITEM			
C	clause 6.06 Excepted Risks	ITEM			
D	clause 6.08 Related definitions	ITEM			
E	clause 6.14 Application of clauses	ITEM			
F	clause 6.15 Compliance with joint Fire Code	ITEM			
G	clause 6.16 Breach of Joint Fire Code - remedial measures	ITEM			
H	clause 6.17 Joint Fire Code - ammendments/revisions	ITEM			
J	clause 7.01 General	ITEM			
K	clause 7.02 Rights of enforcement	ITEM			
L	clause 7.03 Notices	ITEM			
M	clause 7.04 Execution of Collateral Warranties	ITEM			
N	clause 8.01 Meaning of insolvency	ITEM			
P	clause 8.02 Notices under section 8	ITEM			
Q	clause 8.04 Default by Contractor	ITEM			
R	clause 8.05 Insolvency of Contractor	ITEM			
S	clause 8.06 Corruption	ITEM			
T	clause 8.07 Consequences of termination under clauses 8.4 to 8.6	ITEM			
U	clause 8.08 Employer's decision not to complete the Works	ITEM			
V	clause 8.09 Default by Employer	ITEM			

To Collection

Preliminaries
Two Bedroom Unit Look Out

					\$ c
	Form of contract: JCT SBC/Q 2011 Standard Building Contract With Quantities 2011				
A	clause 8.10 Insolvency of Employer	ITEM			
B	clause 8.11 Termination by either Party	ITEM			
C	clause 8.12 Consequences of Termination under clauses 8.9 to 8.11, etc.	ITEM			
D	clause 9.01 Mediation	ITEM			
E	clause 9.03 Arbitration	ITEM			
F	clause 9.04 Notice of reference to arbitration	ITEM			
G	clause 9.05 Powers of Arbitrator	ITEM			
H	clause 9.06 Effect of award	ITEM			
J	clause 9.07 Appeal - questions of Law	ITEM			
K	clause First Recitals- The Government of Montserrat, Housing Department wishes to have a Two Bedroom Dwelling constructed at Davy Hill ("the Works") and has had drawings and bills of quantities prepared which show and describe the work to be done.	ITEM			
L	clause Second Recitals - The Contractor has supplied the Government of Montserrat Housing Department with a fully priced copy of the Bills of Quantities, which for identification has been signed or initialed by or on behalf of each Party ("the Contract Bills"); and has provided the Government of Montserrat Housing Department with the priced schedule of activities annexed to this Contract ("the Activity Schedule").	ITEM			
M	clause Third Recitals - The drawings are numbered/listed in annexed to this Contract ("the Contract Drawings") and have for identification being signed or initialed by or on behalf of each Party.	ITEM			

To Collection

Preliminaries
Two Bedroom Unit Look Out

					\$ c
	Form of contract: JCT SBC/Q 2011 Standard Building Contract With Quantities 2011				
A	Article;; Arbitration: Any disputes or differences between the Parties of any kind whatsoever arising out of or in connection with this Contract shall be referred to arbitration.	ITEM			
B	Article;; Contract Sum: The Government of Montserrat, Housing Department shall pay the contractor ("in Eastern Caribbean Dollars/XCD") (the Contract Sum) at the times and in the manner specified in the Conditions ("Exclusive of VAT") "Inclusive of duties, consumption, customs services and taxes.	ITEM			
C	Article;; Project Architect/Contract Administrator: As listed in Project Particulars.	ITEM			
D	Article;; Quantity Surveyor: As listed in Project Particulars.	ITEM			
E	Article;; The Contactor's obligations: The Contractor shall carry out and complete the Work in accordance with the Contract Documents.	ITEM			
F	special condition 2.08 Contract Documents; Delete the words "the CDP Documents (where applicable)	ITEM			
G	special condition 2.09 Construction information and Contractor's master programme; Clause 2.9.1 Delete the words "(excluding any CDPWorks), together with any pre-construction information required for the purposes of regulation 10 of the CDM Regulations; and" Clause 2.9.4 and 2.9.5 Delete	ITEM			
H	special condition 2.14 Contract Bills and CDP Documents - errors and inadequacy; Delete the Words "or in the CDP Analysis"	ITEM			
J	special condition 2.29 Relevant Events; Peplace "United Kingdom Government" with "Government of Montserrat"	ITEM			

To Collection

Preliminaries
Two Bedroom Unit Look Out

					\$ c
	Form of contract: JCT SBC/Q 2011 Standard Building Contract With Quantities 2011				
A	special condition 2.38 Schedule of defects and instructions; Delete the words "or a section" and "or any failure of the Contractor to comply with his obligations in respect of the Contractor's Designed Portion"	ITEM			
B	special condition 6.04 Contractor's insurance of his liability; Clause 6.4.1.1 insert the words "applicable in Montserrat" after the words "relevant legislation"	ITEM			
C	special condition 6.07 Insurance Options; Insurance A Applies	ITEM			
D	special condition 6.09 Sub-contractors - Specified Perils cover under Joint Names All Risk Policies; Clause 6.9.1 Delete the words "and the Employer, where Insurance Option B or C applies" and "B.1 or C.2" Clause 6.9.2 Delete the words "B.2.1.2 or C.3.1.2"	ITEM			
E	special condition 6.10 Terrorism Cover - policy extensions and premiums; Clause 6.10.1 Delete the words "or the Employer, where insurance Option B or C applies"	ITEM			
F	special condition 6.11 Terrorism Cover - Non-availability - Employer's options; Clause 6.11.5.3 Delete	ITEM			
G	special condition 8.09 Default by Employer; Clause 8.9.1.1 Delete the word "(VAT)" and insert "Inclusive of duties, consumption and customs services and taxes"	ITEM			
H	special condition 8.11 Termination by either Party; Clause 8.11.1.5 Replace the words "United Kingdom Government" with "Government of Montserrat"	ITEM			
J	appendix to contract 1.1 Date for Completion of the works	1	day		

To Collection

Preliminaries
Two Bedroom Unit Look Out

					\$ c
	Form of contract: JCT SBC/Q 2011 Standard Building Contract With Quantities 2011				
A	appendix to contract 2.04 Date of possession;; to be inserted	ITEM			
B	appendix to contract 4.08 Advance Payment; The Advance payment of 10% of the Contract Sum will be paid to the Contractor upon Contrtact Signature and the provision of an Advance payment Guarantee subject to the approval of the Financial Secretary. It will be reimbursed to the Employer in monthly equal installments commencing at Interim Certificate No.2	ITEM			
C	appendix to contract Clause 4.20.1; Percentage of Retention (5 percent)	%			
D	appendix to contract Clause 6.14; Joint Fire Code Applies	ITEM			
E	appendix to contract Clause 6.4.1.2; Contractor's insurance: Insurance cover (for any one occurence or series of occurencies arising out of one event	ITEM			
F	appendix to contract Clause 6.5.1; Insurance liability of Employee Insurance is Required	ITEM			
G	appendix to contract Clause 6.7 Insurance of the Works; 6.7A Applies	ITEM			
H	appendix to contract Clause 9.4.1; Appointment of Arbitrator President or a Vice President of the Royal Institute of British Architects in accordance with laws of Montserrat	ITEM			
J	Employers insurance responsibility Minimum Amount of third Party Insurance	ITEM			
K	performance guarantee bond Amount of Bond or Guarantee (if required) 10 percent of contract price	ITEM			

To Collection

Preliminaries
Two Bedroom Unit Look Out

				\$ c	
<u>A30 TENDERING/SUB-LETTING/SUPPL</u> <u>CONDITIONS</u>					
<u>Conditions</u> PROGRAMME/METHOD STATEMENT/RISK ANALYSIS as specification The Contractor's proposed programme as specified in Section 2 (2.9 or a summary thereof showing the sequence and timing of the principle parts of the Works, periods of the planning, construction and handover, and itemizing any work which is excluded must be submitted prior to execution of the contract. In addition the contractor must also submit a clearly detailed method statement based on the working strategies for executing the works and a risk analysis to indicate how they would manage all construction related risks.			(BW)		
A	Time related charge	ITEM			
ACCEPTANCE OF TENDER as specification The Employer does not bind him/herself to accept the lowest or any tender or to reimburse tenderers for any expense incurred in tendering, nor offer no guarantee that any tenderers will be recommended for acceptance or accepted.					
B	Fixed charge	ITEM			
ERRORS as specification Arithmetical errors discovered in the Tenderer's priced Bills of Quantities will be dealt with as follows. If the total net error would cause a divergence from the tendered sum of over \$1,000.00 or less, or in the former case if the Tenderer has elected to stand by his/her tender, the total net error will be added to or deducted from the total shown against Preliminaries so that the tendered sum remains the same					
C	Fixed charge	ITEM			

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Two Bedroom Unit Look Out

					\$ c
	<p>ERRORS as specification For the purpose of administering the contract, for interim payments an for the settlement of accounts, the amount of any error adjustment shall be calculated as a percentag of the tendered sum ((P.C.) and Provisonal Sums expected) and applied to all rates</p>				
A	Fixed charge	ITEM			
	<p>PRELIMINARIES IN THE SPECIFICATION as specification The Preliminaries/General conditions sections (A10-A55 inclusive) have been prepared in accordance with the Standard Method of Measurement of Building Works Seventh Edition Revised 1998 Incorporating Ammendments 1+ 2 Smm7</p>				
B	Fixed charge	ITEM			
	<p>SUBMISSION as specification Detach the completed Form of Tender from one copy of the Priced Bills of Quantities and submit in a sealed envelope and the Bills of Quantities in a seperate sealed envelope, both envelopes bearing the title of the Project and the Tenderer's name on or before the appointed date for and at the place of submission of tenders set out in the letter of invitation to tender</p>				
C	Fixed charge	ITEM			
	<p>EXCLUSIONS as specification If the Contractor cannot tender for any part(s) of the Work as define in the tender documents the Project Architect must be informed as soon as possible, defining the relevant part(s) and stating the reason(s) for the inability to tender</p>				
D	Fixed charge	ITEM			

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	PERIOD OF VALIDITY as specification Tenders shall remain open for consideration (unless previously withdrawn) for not less than 90 days from the date fixed for the submission of lodgement of tenders. Information on the date for possession/commencement can be found in section A20				
A	Fixed charge	ITEM			
	TIME as specification Time is critical in this contract therefore the agreed contract completion date must be adhered to				
B	Fixed charge	ITEM			
	QUERIES as specification Queries shall be raised no later than seven (7) days before the date of tenders so as to permit the circularizing of the replies to all tenderers, if this is considered necessary. Such answers as are necessary shall be given as a matter of assistance to the Tenderer but they shall not be interpreted as adding to, or taking away from, or otherwise altering the meaning and intent of the tender documents, and/or the Tenderer's obligations thereunder, which can be varied only by a letter signed by the Project Architect				
C	Fixed charge	ITEM			
	QUERIES as specification Tenderers shall refer all queries arising out of this Tender to the Project Architect whose decision for the purpose of tendering shall be final				
D	Fixed charge	ITEM			
	FLUCTUATIONS as specification No adjustments shall be made for fluctuations in the cost of labour and materials				
E	Fixed charge	ITEM			

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	<p>PRICING as specification Price in each item in the Bills of Quantities which is considered to have a money value. If the Tenderer omits to price any item it will be deemed that either he/she will perform the services described free of charge or that a cost of such service has been included against items appearing elsewhere in the Bills. The rates inserted shall be deemed to be in Eastern Caribbean Currency</p>				
A	Fixed charge	ITEM			
	<p>PRICING as specification Prices inserted shall be deemed to include for the payment of customs and other duties, import levied and the like, for the provision of all labour, materials and plant for transport, for deliveries to Site (where not specifically mentioned in the description) for temporary storage of materials and return of empties, for the erection, maintenance and removal of scaffolding, temporary staging, plankways protection, etc. and for all other things necessary for the completion of the works in accordance with the drawings and Bills of Quantities to the reasonable satisfaction of the Project Architect</p>				
B	Fixed charge	ITEM			
	<p>TEXT TO BE DEFINITIVE as specification Do not alter, add to or modify the text of the Bills of Quantities as this will not be recognized or taken into account and could lead to a disqualification of the tender. If the Contractor wishes to make an observation as to the printed text in connection to the rates he/she has inserted, such observation shall form the subject of a separate letter to accompany his tender</p>				
C	; fixed charge	ITEM			

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A	<p><u>A31 PROVISION CONTENT AND USE OF DOCUMENTS</u></p> <p><u>Drawings specification quantities and schedules provided by the Employer's advisers</u></p> <p>Explanation of arrangement of documents as specification Bills Of Quantities And Drawings; Read the Bills of Quantities and drawings as one document and carry out everything for the proper execution of the works whether or not specifically described or shown therein, provided the same may be reasonably inferred there from a list of the drawings from which the Bills of Quantities have been prepared is embodied in this document. Items in the Materials and Workmanship Section of these Bills of Quantities are deemed to qualify and to be part of every description of measured work to which they refer.</p>	ITEM	(BW)		
	<p>BLANK</p> <p>Explanation of arrangement of documents as specification Copies; Two copies of the Bills of Quantities and all drawings shall be furnished free of charge to the Contractor for his/her own use until the completion of the contract. They shall be accessible at all reasonable times, to the Project Architect, to whom they shall be returned at the completion of the contract. After execution of the contract, two copies of the specification will be issued to the contractor in accordance with the contract. Additional copies will be issued on request, if available, but will be charged to the contractor</p>				
B	<p>BLANK</p>	ITEM			

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Two Bedroom Unit Look Out

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	<p>Explanation of arrangement of documents as specification Discrepancies; Verify on drawings and on site all dimensions shown or given before commencing construction. Work to figured dimensions only and in the absence of any dimensions, or in case of discrepancies between dimensions, bring the matter to the immediate attention of the Project Arcitect for a decision. For the purpose of construction, the drawings shall take precendence over the Bills of Quantities but in all cases of discrepancies between the documents, bring the matter to the attention of the Project Architect whose decision shall be final and binding. The accuracy of dimensions scaled from the drawings is not guaranteed. Obtain from the Project Architect/CA any dimensions required but not given in figures on the drawings nor calculable from figures on the drawings.</p>				
A	BLANK	ITEM			
	<p>Explanation of arrangement of documents as specification Maintenance Instructions And Guarantees; Retain copies delivered with components and equipment (failing which, obtain), register with manufacturer as necessary and hand over to CA on or before Practical Completion. Notif the Project Architect/CA of telephone number for emergency services by Subcontractors after Completion.</p>				
B	BLANK	ITEM			
	<p>Explanation of arrangement of documents as specification Ordering Of Materials; Do not use the Bills of Quantities as a ordering list. Tenderers are advised to prepare their own material ordering list based on the construction drawings issued and on measurements where appropriate</p>				
C	BLANK	ITEM			

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A	<p>Explanation of arrangement of documents as specification Technical Literature; The Contractor is advised to keep copies of the following on site, readily accessible for reference by all supervisory personnel: Manufacturer's current literature relating to all products to be used in the Works; Relevant B and or Codes of Practice</p> <p>BLANK</p>	ITEM			
B	<p>Explanation of arrangement of documents as specification The Measured Quantities; For purposes of ordering products and constructing the Works: The accuracy and sufficiency of the measured quantities is not guaranteed. The specification and drawings shall take precedence over the measured quantities</p> <p>BLANK</p>	ITEM			
C	<p>Explanation of arrangement of documents as specification The Specifications; All sections of the specification must be read in conjunction with Main Contract Preliminaries/General conditions</p> <p>BLANK</p>	ITEM			
D	<p>Terms and symbols used as specification Approval; (and words derived therefrom) means the approval in writing of the CA unless specified otherwise</p> <p>BLANK</p>	ITEM			
E	<p>Terms and symbols used as specification CA; Means the person nominated in the contract as Project Architect or Contract Administrator or their authorized representative</p> <p>BLANK</p>	ITEM			

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	<p>Terms and symbols used as specification</p> <p>Cross-references to the specification; Where a numerical cross-reference to a specification section or clause is given on drawings or in any other document the contractor must verify its accuracy by checking the remainder of the annotation or term description against the terminology used in the reference to section or clause. Where a numerical cross-reference is not given the relevant section(s) and clause(s) of the specification will apply, cross-reference thereto being by means of related terminology. Where a numerical cross-reference for a particular type or work, feature, material or product is given, relevant clause(s) elsewhere referred to in the specification section dealing with general matters, ancillary products and workmanship also apply. The Contractor must, before proceeding, obtain clarification or instructions in relation to any discrepancy or ambiguity which may be discovered</p>				
A	BLANK	ITEM			
	<p>Terms and symbols used as specification Fix Only;</p> <p>Means all labours in unloading, handling, storing and fixing in position, including use of plant</p>				
B	BLANK	ITEM			
	<p>Terms and symbols used as specification In writing;</p> <p>When required to advise, notify, inform, instruct, agree, confirm, obtain information, obtain approval or obtain instructions do so in writing</p>				
C	BLANK	ITEM			
	<p>Terms and symbols used as specification</p> <p>Manufacturer And Reference; Where used in this combination; "Manufacturer" means the firm under whose name the particular product is marketed. "Reference" means the proprietary brand name and/or reference by which the particular product is identified</p>				
D	BLANK	ITEM			

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Preliminaries
Two Bedroom Unit Look Out

					\$ c
A	<p>Terms and symbols used as specification Products; means materials (including naturally occurring materials) and goods (including components, equipment and accessories) intended for permanent incorporation in the Works.</p> <p>BLANK</p>	ITEM			
	<p>Terms and symbols used as specification Provisional and Prime Cost (P.C.) Sums; The term "Provisional Sum" shall mean a sum provided for work or for costs which cannot be entirely foreseen, defined, or detailed at the time the tendering documents are prepared. Such sum shall be used in part or in whole as directed by the Project Architect and shall be deemed to be inclusive of any profit required by the Contractor unless otherwise indicated. The term "Prime Cost Sum" or "P.C. Sum" shall mean a sum provided for work or services to be executed by a sub-contractor nominated by the Project Architect, a statutory authority or a public undertaking or for materials or goods to be obtained from a supplier nominated by the Project Architect. Such sums may be used in part or in whole as directed by the Project Architect and shall be deemed to be exclusive of any profit required by the Contractor and provision is made for the addition thereof if any. When profit is added by the Contractor the sum so added shall be adjusted in direct proportion to the amount of the P.C. sum is actually expended. Where a P.C. price is given in the description of any item of work it shall be taken as a price only for the materials or services referred to (delivered to Site, unless otherwise stated), and the Contractor shall use this price in the build-up of his/her rate for the supply and installation of that item of work. The P.C. price shall be deemed to include the Contractor's cash discount and the Contractor shall be deemed to have allowed in his price build-up for profit, overheads, attendance, etc. he/she may require for the P.C. price given. A net adjustment shall be made to the Contractor's built-up price should the service or item selected by the Architect cost more or less than the P.C. price given</p>				
B	BLANK	ITEM			

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	Terms and symbols used as specification Reference Documents; where and to the extent that this specification conflicts with referenced documents, this specification prevails				
A	BLANK	ITEM			
	Terms and symbols used as specification Supply And Fix; Unless stated otherwise all items given in the schedule of work and/or on the drawings are to be supplied and fixed complete				
B	BLANK	ITEM			
	<u>A32 MANAGEMENT OF THE WORKS</u>				
	<u>Generally</u>		(BW)		
	Management of the works as specification Maintenance or Roads; Maintain the public and private roads, footpaths, ditches,kerbs,and the like. Keep the approaches to the site free from excavate materials, mud and debris. The Contractor is to make good any damage due to any cause within his/her control at his/her own expense or pay any cost and charges in connection therewith.				
C	Fixed charge	ITEM			
	Management of the works as specification Protection Of Public And Private Services; Protect, uphold, temporarily divert and maintain all pipes, ducts, drains, sewers, service mains, overhead cables and the like during the execution of the works. The Contractor is to make good any damage due to any cause within his/her control at his/her own expense or pay any cost and charges in connection therewith. Approval shall be obtained at least two weeks in advance if any service have to be interrupted				
D	Fixed charge	ITEM			

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					\$ c
A	<p>Management of the works as specification Siting Of Temporary Works And Of Permanent Soil Disposal; Obtain the approval of the Project Architect to the siting of permanent soil disposal and notify him of the proposed siting of materials, of temporary soil and rubbish deposits and of temporary buildings, temporary roads and the like</p> <p>Fixed charge</p>	ITEM			
B	<p>Management of the works as specification Supervision; Accept responsibility for coordination, supervision and administration of the Works, including all subcontractor. Arrange and monitor programme with each subcontractor, supplier, local authority and statutory undertaker, and obtain and supply information as necessary for coordination of the work</p> <p>Fixed charge</p>	ITEM			
C	<p>Management of the works as specification Temporary Roads; Provide, maintain and alter as necessary all temporary roads, tracks, paths, hard standings, pavement crossings, temporary works and the like. Reinstate all ground and all work disturbed on completion of the works</p> <p>Fixed charge</p>	ITEM			
D	<p>Management of the works as specification Temporary Water Disposal; Provide and maintain temporary gutters, channels, drains and the like for the disposal of surface and other water. Alter, shift and adapt from time to time as necessary.</p> <p>Fixed charge</p>	ITEM			
E	<p>Management of the works as specification Water Level; Information on soil tests and water level is obtained from a soil Investigation report which is available for inspection at the office of the Engineer during normal working hours.</p> <p>Fixed charge</p>	ITEM			

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A	Fixed charge	ITEM			
	<p>The Site as specification Tenderers are expected to visit the site and ascertain the nature of the work to be done, means of access and egress, the availability and positions of essential services, electricity, water, etc., condition of the Site, necessity for and extent of sleeper roads, temporary crossings and temporary drainage, working space and storage for materials and allow in this tender for all such factors which may affect the execution of the Works</p>				
	<p>Arrangements for site meetings as specification Site Meetings; The Project Architect/CA will hold regular site meetings to review progress and other matters arising from the administration of the Contract. Meetings will normally be held monthly. Ensure the availability of accommodation at the time of such meetings. Attend all meetings and inform subcontractors and suppliers when their presence is required. The Project Architect/CA will chair the meetings and take and distribute minutes</p>				
	Fixed charge	ITEM			
B	<p>Administration of insurances as specification Insurance Claims; If any event occurs which may give rise to any claim or proceeding in respect of loss or damage to the Works or injury or damage to persons or property arising out of the Works, forthwith give notice in writing to the Employer, the Project Architect/CA and the Insurers. Indemnify the Employer against any loss which may be caused by failure to give such notice.</p>				
	Fixed charge	ITEM			
C	<p>Administration of insurances as specification Insurance; Before starting work on site submit documentary evidence and/or policies and receipts for the insurance required by the Conditions of Contract</p>				
	Fixed charge	ITEM			
D	Fixed charge	ITEM			

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					\$ c
A	<p>Records of climatic and other conditions as specification Adverse Weather; Use all reasonable and suitable building aids and methods to prevent o minimize delays during adverse weather conditions</p> <p>Fixed charge</p>	ITEM			
B	<p>Records of climatic and other conditions as specification Climatic Conditions; Keep an accurate record of: Daily maximum and minimum air temperatues (including overnight). Delays due to adverse weather, including description of the weather, type(s) of work affected and number of hours lost.</p> <p>Fixed charge</p> <p><u>Control of time</u></p> <p>Preparing submitting and monitoring programmes a specification Commencement Of Work; Inform the Project Architect/CA at least 5 working days before the proposed date of commencement of work on sit</p>	ITEM	(BW)		
C	<p>Fixed charge</p> <p>Preparing submitting and monitoring programmes a specification Overtime; The contractors attention is drawn to the restrcited working hours as set out under the relevant item of this Section of the Bills of Quantities. Work outside those hours specified or authorised later by the Project Architect shall be permitted</p>	ITEM			
D	<p>Fixed charge</p>	ITEM			

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						\$	c
A	<p>Preparing submitting and monitoring programmes a specification Progress Chart And Reports; 1.Weather Conditions; 2. Manpower on the job in each trade; 3. Major items of equipment on the job; 4. A brief summary of work accomplished that day; 5. Materials, equipment, or Employer furnished items arriving or leaving site; 6. Significant events, including accidents; 7. Any testing made and their results, if known; 8.Any oral instructions received; 9 Visitors on the job; 10. Possible causes for delay.</p> <p>The record shall show the dates of commencement and completion of all trades and parts of the work coming under the Contract. It shall also include particulars regarding daily weather conditions, excavation works, erection and removal of formwork, pouring of concrete etc., as well as the number of employees of the various trades engage on the Works.</p>	ITEM					
	Fixed charge						
B	<p>Preparing submitting and monitoring programmes a specification Progress Chart And Reports; The Contractor shall prepare and submit with his/her tender a draft programme and progress chart of the entire Works. If the Contractor is awarded the Contract, he/she shall agree the details of his/her programme with the Project Architect and shall produce four (4) copies of the agreed chart on the site and record progress thereon during the execution of the Works. The Contractor shall so programme the work as not to interfere with the fre use of any existing buildings, roads, and other area and or adjoining the site. The Contractor shall keep a permanent written record on the site of the progress of the Works. This record shall be open to the inspection of the Project Architect at all reasonable times. A copy shall be furnished to the Project Architect on request. The report will contain at least the following:</p>	ITEM					
	Fixed charge						

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A	<p>Preparing submitting and monitoring programmes a specification Submission Of Programme; This will not relieve the Contractor of responsibility to advise the Project Architect/CA of the need for further drawings or details or instructions in accordance with the Conditions of the Contract</p> <p>Fixed charge</p>	ITEM			
B	<p>Giving notice of start and completion of work as specification Notice Of Completion; Give the Project Architect/CA at least 2 weeks notice of the anticipated dates of Practical Completion of the whole or parts of the Works.</p> <p>Fixed charge</p> <p><u>Control of cost</u></p> <p>Submission of information relating to interim valuations as specification Cash Flow Forecast; As soon as possible and before starting work on site submit to the Project Architect/CA a forecast showing the gross valuation of the Works at the date of each Interim Certificate Throughout the Contract period and based upon the programme for the Works</p>	ITEM	(BW)		
C	<p>Fixed charge</p> <p>Disclosure of reservation of title as specification Unfixed Materials; At the time of each valuation disclose to the QS which of the unfixed materials and goods on site are free from, and which are subjected to, any reservation of title inconsistent with passing of property as required by the Conditions of the Contract, together with their respective values. When requested provide evidence of freedom from reservation of title.</p>	ITEM			
D	<p>Fixed charge</p>	ITEM			

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A	Giving notice before covering up work to be measured as specification Measurement; Give reasonable notice to the Quantity Surveyor before covering up work which the Quantity Surveyor requires to be measured	ITEM			
	Fixed charge				
B	Submission of daywork vouchers as specification Daywork Vouchers; Give reasonable notice to the Project Architect/CA of the commencement of any work for which daywork vouchers are to be submitted. Before being delivered, each voucher must be: 1) Referenced to the instruction under which the works is authorised, and 2) Signed by the person in charge as evidence that the workmen names, the time spent by each, the plant and materials shown are correct.	ITEM			
	Fixed charge				
C	Submission of daywork vouchers as specification Interim Valuations; At least three (3) days before the end of each established Period for interim valuation submit to the QS details of amounts due under the Contract together with all necessary supporting information	ITEM			
	Fixed charge				
D	Labour and plant records as specification ; At the beginning of each week provide for verification by the CA records showing, for each day of the previous week: 1) The number and description of craftsmen, labourers and other persons employed on or in connection with the Works, including those employed by subcontractors. 2) The number, type and capacity of all mechanical and power-operated plant employed on the Works.	ITEM			
	Fixed charge				

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	<p>Labour and plant records as specification Fringe Benefits; Allow for all cost in respect of National Insurance, Vacation and Public Holiday Leave, Sick Leave, Cost of Living Allowances, Subsistence Allowances, travelling time and expenses and all other emoluments and expenses payable to or in connection with the employment of persons for the works. Comply with all local regulations in force relating to the welfare of the work people on the site or in places where work is being prepared for incorporation into the works and keep and maintain at all times, an adequate First Aid Kit on the site.</p>				
A	<p>Fixed charge</p> <p><u>A33 QUALITY STANDARDS/CONTROL</u></p> <p><u>Standards of materials and work</u></p> <p>Samples of products and work as specification App Throughout; Description of materials and workmanship given in any one Section of Trade are to apply throughout the Bills of Quantities unless otherwise described.</p>	ITEM			
			(BW)		
B	<p>Fixed charge</p> <p>Samples of products and work as specification Bes Quality; Materials and workmanship are to be of the best quality of their respective kinds, and those for which there is a British Standard or Code of Practice are to conform thereto unless otherwise stated. Workmanship must conform to sound building practice unless otherwise described or shown.</p>	ITEM			
C	<p>Fixed charge</p>	ITEM			

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						\$ c
A	<p>Samples of products and work as specification General Quality of Products;</p> <p>a) Materials and workmanship are to be of the best quality of their respective kinds and those for which there is a British Standard or Code of Practice are to confirm therto unless otherwise stated. Workmnaship is to confirm to sound building practice unless otherwise described or shown.</p> <p>b) Products to be new unless otherwise specified.</p>	ITEM				
	Fixed charge					
	<p>Samples of products and work as specification Goo Practice; Where and to the extent that materials, products and workmanship are not fully detailed or specified they are to be:</p> <p>a) Of a standard appropriate to the Works and suitable for the functions stated in or reasonable to be inferred from the project documents,</p> <p>b) Inaccordance with relevant good building practice.</p>					
B	Fixed charge	ITEM				
C	<p>Samples of products and work as specification Labour Provide as Necessary; Provide as necessary, all skilled, semi-skilled and unskilled labour required for the execution and completion of the Works. Workmanship is to be of the best qualit throughout, to the reasonable satisfaction of the Project Architect. Provide a competent foreman-in-charge and all other site staff such as storekeeper, timekeeper, checker, etc., necessary for the proper supervision of the Works. Any instruction given by the Project Architect to the foreman-in-charge shall be deemed to have been given to the contractor.</p>	ITEM				
	Fixed charge					

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	Samples of products and work as specification Labour availability; Ensure that all labour will be available for the Works and allow in the tender for the additional cost of any importation of labour from other districts that may be deemed necessary.				
A	Time related charge	ITEM			
	Samples of products and work as specification Materials Availability; Ensure that all materials will be available from stock and, if this is not the case, make arrangements for deliveries so that no delay is occasioned due to the non-availability of materials.				
B	Fixed charge	ITEM			
	Samples of products and work as specification Materials Provide as Necessary; Provide as necessary all materials required for the proper execution and completion of the Works.				
C	Fixed charge	ITEM			
	Samples of products and work as specification Transportation Provide as Necessary; Provide all necessary transport for labour, materials and plant.				
D	Time related charge	ITEM			
	Tests and samples as specification Samples; Samples and materials, colors, finished work, etc. shall be provided, without charge to the Project Architect for approval if required. Keep approved samples on site in an approved position for use as reference by craftsmen. No materials or workmanship which in the opinion of the Project Architect is of a lower quality than the approved sample will be accepted by the Project Architect.				
E	Fixed charge	ITEM			

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A Fixed charge

ITEM

Tests and samples as specification Test; Provide materials for and carry out tests as when directed by the Project Architect. If the results of any tests are unsatisfactory bear the cost of any resulting reconstruction which may be ordered by the Project Architect. Make the necessary provisions in your bid price for the cost of testing materials or workmanship by independent agencies as may be directed by the Project Architect. The cost of testing materials and workmanship found not to be in accordance with the Specification shall be done by the Contractor. Load testing of piles (if applicable) is measured in the Measured Works Section of the Bills of Quantities.

B Fixed charge

ITEM

Approval of products and work as specification Brand Names; where materials are described by Brand or Trade names such names are given as indication of type, quality etc. Allow in tendering for these particular materials but alternatives may be used with the Project Architects approval. If approval is not given the materials described herein must be provided. All branded materials shall be used strictly in accordance with the respective manufacturer's recommendations or instructions. The Contractor shall be responsible for obtaining from manufacturers all relevant details regarding the use of their products. The Contractor shall bring immediately to the attention of the Project Architect any differences between the manufacturer's recommendations and the specification given here for a decision on which it will take precedence.

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	Setting out accuracy as specification Record Drawings; Keep accurate records, in a form acceptable to the Project Architect, of the position and routing of all services internally and externally, whether executed by own workman or others, and deliver in duplicate fully detailed drawings to the Architect not later than seven (7) days after completion of the particular installation. Record details of all grid lines, setting-out stations, bench marks and profiles on the site setting-out drawings. Retain on site throughout the Contract and hand to the Project Architect/CA on Completion.				
A	Fixed charge	ITEM			
	Setting out accuracy as specification Setting Out; Check the levels and dimensions of the site against those shown on the drawings, and record the result on a copy of the drawings. Notify the Project Architect/CA in writing of any discrepancies and obtain instructions before proceeding. Inform the Project Architect/CA when overall setting out is completed and before commencing construction.				
B	Time related charge	ITEM			
	<u>Supervision/Inspection</u>		(BW)		
	Resident engineer - functions and powers as specification The site organisation staff must include one or more person with appropriate knowledge and experience of mechanical and electrical engineering services to ensure compatibility between engineering services, one with another and each in relation to the Works generally. Submit to the Project Architect/CA, when requested, CV's or other documentary evidence relating to the staff concerned.				
C	Time related charge	ITEM			
	Defective Work as specification Any defective materials or sub-standard workmanship not in accordance with this contract shall be removed and replaced without charge.				
D	Fixed charge	ITEM			

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A	<p>Supervision as specification In addition to the constant management and supervision of the Work provided by the Contractor's person in charge, all significant types of works must be under the close control of competent trade supervisors to ensure maintenance of satisfactory quality and progress.</p> <p>Time related charge</p> <p><u>Completion/Making good defects</u></p> <p>Completing cleaning and making good the building as specification General Clear Away and Clean; Clear away all plant and temporary work unless otherwise described or directed and make good. Clear away all existing rubbish, debris and surplus materials as they accumulate and at completion. Clean floors, pavings, glass both sides and all external surfaces and leave the Works clean and perfect at completion.</p>	ITEM	(BW)		
B	<p>Time related charge</p> <p><u>A34 SECURITY/SAFETY/PROTECTION</u></p> <p><u>Employers requirements or limitations</u></p> <p>Noise and pollution control as specification Comply generally with the Local laws as it applies to noise pollutions. Comply generally with the recommendations of BS 5228 Part 1, clause 9.3 for minimising noise levels during the execution of the Works. Take all reasonable precautions to prevent pollution on the site, the Works and the general environment.</p>	ITEM	(BW)		
C	<p>Fixed charge</p> <p>Water as specification Prevent damage from storm and surface water. (items for keeping the site and excavations free from water are given elsewhere).</p>	ITEM			
D	<p>Fixed charge</p>	ITEM			

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					\$ c
A	Fire prevention as specification Smoking will not be permitted on the site, equip appropriate areas with fire equipment and schedule inspections to guard against risk of fire. Burning of materials arising from the work will not be permitted.	ITEM			
	Fixed charge				
B	Nuisance as specification Take all reasonable precautions to prevent nuisance from smoke, dust, rubbish, and other causes.	ITEM			
	Fixed charge				
C	Security as specification The site of the proposed Works shall be under the Contractor's sole charge from the date of possession to the date of completion of the Contract. Provide all necessary day and night watching to effectively protect the Works and materials stored on site including those sub-contractors and accept all risks for damage or loss. Provide all necessary temporary hoarding, barricades, planked footways, gantries, screens, etc., for the protection of the work people, occupant s adjoining property and the public and alter, adapt and maintain them as necessary and clear away on completion and reinstate all work disturbed to the satisfaction of the relevant authorities.	ITEM			
	Time related charge				
D	Protection of work as specification Protect all work including that executed by sub-contractors and specialists from any kind of injury and damage. Provide all necessary temporary roofs, tarpaulins, screens, planking and general protection that may be required and clear away when no longer needed and reinstate any work which has become damage or stained.	ITEM			
	Fixed charge				
E	Explosive as specification DO NOT USE	ITEM			
	Fixed charge				

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<u>A35 SPECIFIC LIMITATIONS ON METHOD/SEQUENCE/TIMING/USE OF SITE</u> <u>Employers requirements or limitations</u> Access as specification Prevent any trespassing by unauthorised persons on the site of the Works and any trespassing on the adjoining property by own employees or those of sub-contractors and indemnify the Employer against any claims, costs o proceedings whatsoever arising out of any trespassing or alleged trespassing.			(BW)		
A	Fixed charge	ITEM			
Use of the site as specification Inform the Project Architect/CA of the intended siting of all spoil heaps temporary works and services. Provide suitable temporary accommodation for site meetings, the room may be part of the contractors own site office. Provide and maintain in a clean condition sanitary accommodation for the Employer's representatives, either separate or shared with the Contractor's supervisory staff. The accommodation must include an adequate number of appliances, wash hand basin(s) with adequate lighting and ventilation.					
B	Fixed charge	ITEM			
Maintain as specification Maintain, alter, adapt and move temporary works and services as necessary. Remove when no longer required and make good.					
C	Fixed charge	ITEM			

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<u>A40 MANAGEMENT AND STAFF</u>					
<u>Provided by the contractor</u>			(BW)		
<p>Management as specification The Project Architect in conjunction with the Contractor shall select all temporary buildings including areas for use by nominated sub-contractors as may be necessary. The ground on which temporary buildings are sited shall be made good after removal of these buildings Provide, erect and maintain suitable office accommodation and mess-rooms for staff and workmen and remove on completion. Provide, erect and maintain suitable sheds for storage of materials and remove on completion. Provide temporary latrines for the use of workmen, to the satisfaction of the Project Architect and the relevant Sanitary Authorities and empty and cleanse same as when required and clear away on completion. For the purposes of this contract the Contractor shall provide suitable space within the general site office, provided for the Contractor's supervisor, for a large desk with two chairs for use by the Employers consultants or representatives. This work will be carried by the Contractor.</p>					
A	Fixed charge	ITEM			
<u>A42 SERVICES AND FACILITIES</u>					
<u>Provided by the contractor</u>			(BW)		
<p>Lighting as specification Provide all necessary artificial lighting and power, including that for sub-contractors and specialists, and pay all charges for drawing off main supply. This work will be carried by the Electrical Contractor.</p>					
B	Time related charge	ITEM			

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	Water as specification Provide water for the works including that for sub-contractors and specialists, at the various levels and positions where required including all necessary sumps temporary plumbing and storage and pay all charges for drawing water from the main supply. This work will be carried by the Plumbing Contractor.				
A	Time related charge	ITEM			
	Telephone and administration as specification Provide a site telephone for the duration of the Works with branch lines to the Foreman's offices and pay all charges in connection therewith. This provision will be made available by the Contractor.				
B	Time related charge	ITEM			
	Safety health and welfare as specification Include f complying with all local statutes and regulations in force relating to the safety, health and welfare of work people employed in connection with the works on site or in places where work is being prepared fo incorporation into the Works, and for keeping and maintaining at all times an adequate First Aid kit on the site.				
C	Fixed charge	ITEM			
	Storage of material as specification Provide and maintain proper sheds for the storage of materials, plant and items brought on to site for use in the works.				
D	Fixed charge	ITEM			
	Rubbish disposal as specification Provide for removing all rubbish from the site and deposit in an approved dump site both as it accumulates from time to time and on completion, and for generally keeping the Works and the site clean and tidy at all times.				
E	Fixed charge	ITEM			

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A	Protection as specification Allow for all work in connection with protecting all the Works, by whatever means necessary from any kind of injury or damage. Provide all necessary temporary roofs, tarpaulins, screens, planks and general protection that may be required and clear away when no longer needed and reinstate any work which has become damaged or stained.	ITEM			
	Fixed charge				
B	Maintain public and private roads as specification The Contractor shall be responsible for maintaining and protecting private and public roads and that of drainage. The Contractor shall indemnify the Employer against any claim for damage to public and private roads and that of drainage caused by the execution of the Works.	ITEM			
	Fixed charge				
C	General attendance on nominated sub-contractors as specification Provide attendance upon, cut away for and make good after trades performed by own workmen and own sub-contractors and leave perfect on completion. Provide general attendance on nominated sub-contractors which shall be deemed to include allocation, for free use by sub-contractor, of suitable areas on site for office accommodation and storage of plant and materials, reasonable and free use of scaffolding and hoisting tackle already erected by the Contractor, free use of mess-rooms, sanitary accommodation and their work and clean away rubbish. When a lump sum price is inserted against this item it shall be adjusted in direct proportion to the amount of the nominated sub-contract P.C> Sum actually expended. Provide special attendance on nominated sub-contractors e.g. cutting chases and the like, only when specifically instructed so to do following the items in the Bills of Quantities which describe the particular nominated sub-contract work. When a lump sum price is inserted against this item it shall be adjusted in direct proportion to the amount of the nominated sub-contract P.C. Sum actually expended.	ITEM			
	Fixed charge				

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<u>A43 MECHANICAL PLANT</u>							
<u>Provided by the contractor</u>			(BW)				
Hoists as specification Provide all hoist and the like for the proper execution and completion of the work							
A	Fixed charge	ITEM					
Transport as specification Provide all transport and the like for the proper execution and completion of the works.							
B	Time related charge	ITEM					
Concrete plant as specification Provide all concrete plant and the like for the proper execution and completion of the works.							
C	Fixed charge	ITEM					
<u>A44 TEMPORARY WORKS</u>							
<u>Provided by the contractor</u>			(BW)				
Temporary roads as specification Provide and maintain all necessary temporary roads, tracks, gangways, bridges and the like, within the site for the proper completion of the works.							
D	Fixed charge	ITEM					
Access scaffolding as specification Provide all scaffolding necessary for the proper execution and completion of the works including altering, adapting and maintaining during the progress of the works.							
E	Fixed charge	ITEM					

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A	Hoardings fans fencing etc as specification Provide and maintain all necessary temporary fences, hoardings, planked footways, guardrails, gantries and the like necessary for the protection of the public and the proper execution of the works and comply with the requirements of all official bodies having authority in connection with the works.	ITEM				
	Fixed charge					
	<u>A53 WORK BY STATUTORY AUTHORITIES</u>					
	<u>Include the following Provisional Sums</u>					
	For work by the Local Authorities					
B	telephone connection charge	ITEM				
C	water main and meter	ITEM				
D	Electricity main and meter	ITEM				
E	Sewer connection	ITEM				
F	<u>A54 PROVISIONAL SUMS</u>					
	<u>Include the following undefined Provisional sums</u>					
	Contingencies					
	for entire project	ITEM				

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To Summary

**GOVERNMENT OF
MONTSERRAT
PUBLIC WORKS DEPARTMENT
GENERAL CONDITIONS
OF
CONTRACT**

GENERAL CONDITIONS

1 Definitions

- a) The “Contract” means these General Conditions together with the Specifications, drawings and includes the contract agreement
- b) The “Employer” means the Government of Montserrat
- c) The “Quantity Surveyor” means a duly authorized representative of the Employer
- d) The “Project Architect/Contract Administrator” means a duly authorized representative of the Employer
- e) The “Contractor” means the company appointed to carry out the works
- f) The “colony” means the colony of Montserrat
- g) The “Site” means the areas and/or places where on or in which the Works are to be carried out
- h) The “Works” means the works to be executed in accordance with this Contract as described in the Specifications
- i) The “language” of the Contract shall be English
- j) The “Law” applicable to the Contract, shall be the Laws of Montserrat
- k) The “Supervising Officer” means the person put in charge by the “Contractor” to supervise or oversee the work/works on site.
- l) The “Honorable Financial Secretary” means the person with responsibility for all financial commitments for the Government of Country.

2 Contract Document - Priority

- .1 Contract Agreement
- .2 The Tender Drawings
- .3 General Conditions of Contract
- .4 Any other document forming part of the Contract

3 Extent of Contract

- .1 The Contract comprises the Construction of a Two-bedroom dwelling house complete and finished as per the drawings and contract documents issued. The Tenderer is required by contract to supply all necessary labor, materials, plant and temporary works to complete the described works together with any such fixtures/fittings. The contract includes for the installation, connection and testing of all services by statutory body that may be deemed necessary to safely handover the completed works. The contractor is required to supply the Client with two sets of keys for all external doors at hand over.

4 Notices and other Communications

- .1 Any notice or other communication between the Parties, or by or to the Project Architect/Contract or Quantity Surveyor, that is expressly referred to in the Agreement or these Conditions (including, without limitation, each application, approval, consent, confirmation, counter notice, decision, instruction or other notification) shall be in writing.
- .2 Any notice or other communication and any documents to be supplied may or shall be sent or transmitted by electronic means and where expressly required by the contractor be delivered by hand. If in an emergency any communication is made orally with respect to health and safety, risk of damage to property or insurance matters, written confirmation of it shall be sent as soon as thereafter as is reasonably practicable.
- .3 Any notice or other communication referred to in clause 4.1 unless stated otherwise shall be given within 7 working days.

Notices of Discrepancy etc.

- .4 If the Contractor becomes aware of any errors, omissions or inadequacy or any other discrepancy or divergence in or between the Contract Drawings; Contract Bills; any instruction issued by the Project Architect/Contract Administrator, he shall immediately give notice with appropriate details to the Project Architect/Contract Administrator; who shall issue instructions in that regard.

5 Power to Vary or Omit

- .1 The Employer reserves the right to vary from time to time during the progress of the works, the Specifications or Drawings and shall in writing, notify the Contractor of such variation. If the instructions are given orally, they shall, within **two (2)** days be confirmed in writing by the Quantity Surveyor, in the event of any such variation involving an alteration in the cost, or in the period required for completion an agreed revision of contract price and/or time of completion may be made, any such alterations should be deemed part of the Contract.
- .2 No variation, alteration or addition to the work indicated in the Specification and/or Drawing shall be made unless the written instruction of the employer has been obtained.

Exclusion of persons from the Works

- .3 The Project Architect/Contract Administrator may (but shall not unreasonably or vexatiously) issue instructions requiring the exclusion from the site of any person employed thereon.

6 Assignment of Contract

- .1 Neither the Employer nor the Contractor shall without the consent of the other assign this contract or any rights thereunder.
- .2 The Contractor shall not assign the whole or any part of the Works without the consent of the Project Architect/Contract Administrator. Such consent shall not be unreasonably delayed or withheld but the Contractor shall remain wholly responsible for carrying out and completing the Works in all respects in a proper and workmanlike manner and in compliance with the Contract Documents, and other Statutory Requirements. Notwithstanding any such sub-contracting, the contractor shall give all notices required by the Statutory Requirements and remain responsible to the Employer for the

Quality and execution of all of the works including any defaults and or neglect of any sub-contractor or agent or workman employed by him.

7 Supply of Materials

- .1 The Contractor shall supply all materials and goods for the works, so far as procurable, be of the kinds and standards described in the contract bills and detailed in the Specifications and on the drawings. The Contractor shall at all times be diligent and ensure that all works are executed in accordance with the laws of Montserrat.

8 Setting Out

- .1 The Contractor shall be responsible for setting out of the work.

9 Workmanship

- .1 The contractor shall not substitute any materials or goods so described without the Project Architect/Contract Administrator consent, which shall not be unreasonably delayed or withheld but shall not relieve the Contractor of his other obligations. Where and to the extent that approval of the quality of materials or goods or of the standards of workmanship is a matter for the Project Architect/Contract Administrator opinion, such quality and standards shall be to his reasonable satisfaction.
- .2 To the extent that the quality of materials and goods or standards of workmanship is neither described nor stated to be a matter for such opinion or satisfaction they shall be of a standard appropriate to the works. The Contractor shall upon the request of the Project Architect/ Contract Administrator provide him with reasonable proof that the materials and goods used comply with clause 7.1.
- .3 The Employer may from time during the course of the Contract inspect any completed or part-completed work of the Contractor. If the Employer is not satisfied with such work, he shall in writing, inform the Contractor of his dissatisfaction. Notwithstanding any such progress inspection by the Project Architect/ Contract Administrator on completion of the works, the Contractor shall satisfy the Employer as to the quality and fitness of the work.

10 Removal of Debris

- .1 The Contractor shall remove all debris caused by their work from time to time as it accumulates and shall leave the site clean on completion of the Contracted Works.

11 Supervision of Works and Skilled Workmen

- .1 The Contractor shall provide all necessary superintendence during the execution of the works. He shall ensure that at all times he has on the site a competent person-in-charge and any instructions given to that person by the Project Architect/ Contract Administrator shall be deemed to have been given to the Contractor.
- .2 The Contractor shall employ in and about the execution of the Works only such persons who are carefully skilled and experienced in their respective several trades. Tenderers are to provide for special attendance to include for the necessary costs in relation to the Employment of any Specialist Trades required to carry out any works related to the successful completion of the contract. This should include all travel, accommodation, and any other expense and include for their safe return at the end of the contract.
- .3 The Project Architect/ Contract Administrator may (but not unreasonably or vexatious) issue instructions requiring the exclusion from the Works of any person employed thereon.

12 Contractor's Plant

- .1 The Contractor shall provide at their own cost all tools, and other plant necessary for the purpose of carrying out the specified Work in an organized and expeditious manner.

13 Payment of Fees

- .1 The Contractor shall be responsible for the payment of all fees necessary for the completion of the Contract required by a Statutory Authority within or without the Colony.

14 Safety

- .1 The Contractor is responsible for the safety of all persons employed by him including his sub-contractors.
- .2 He or she shall in no way carry out any work that could be seen to endanger the life of any of his employees or of any member of the general public, including any other employee of the employer.

15 Liability of Contractor - personal injury or death

- .1 The Contractor shall be liable for and shall, indemnify the Employer Against, any expense, liability, loss, claim or proceedings whatsoever in respect of personal injury to or death of any person arising out of or in the course of or caused by the carrying out of the Works, except to the extent that the same is due to any act or neglect of the Employer, of any of the Employer's Persons or of any Statutory Undertaker.

16 Liability of Contractor – injury or damage to property

- .1 The Contractor shall be liable for, and shall indemnify the Employer Against, any expense, liability, loss, claim or proceedings in respect of any loss, injury or damage whatsoever to any property real or personal insofar as such loss, injury or damage arises out of or in the course of or by reason of the carrying out of the Works and to the extent that the same is due to any negligence, breach of statutory duty, omission or default of the Contractor or any of the Contractor's Persons.
- .2 The reference to 'property real or personal' does not include the Works, work executed and/or Site Materials up to and including whichever is the earlier of:
 - .1 the date of issue of the Practical Completion Certificate; or
 - .2 the date of termination of the Contractor's employment.
- .3 without prejudice to his obligations to indemnify the Employer under clause 16.1 and 16.2, the Contractor shall take out and maintain insurance in respect of claims arising out of his liability in respect of claims for personal injury to or the death of any employee of the Contractor arising out of and in the course of such person's employment, shall comply with all relevant legislation;
 - .1 for all other claims to which clause 16.3 applies, shall indemnify the Employer in like manner to the Contractor (but only to the extent that the Contractor may be liable to indemnify the Employer under the terms of this contract) and shall be in a sum not less than that stated in the Contract for any one occurrence or series of occurrences arising out of one event.

17 Evidence of Insurance

- .1 The Contractor shall produce such evidence as the Employer may reasonably require that the insurance's referred to herein have been taken out and are in force at all material times.

18 Traffic Control

- .1 Due to the nature of the Works it will be the responsibility of the Contractor to ensure that a system of traffic control is in operation, including all signage and barriers and no vehicular access if necessary. All traffic control measures must be previously agreed with the Project Architect/ Contract Administrator.

19 Payments to the Contractor

- .1 Please note that in accordance with the GOM Financial Regulations, The Honorable Financial Secretary has advised that Contractors are to reduce their dependency on GOM taking the Risk of providing substantial Advanced Payments to them. In addition, Advanced Payment request made by Tenderers which are greater than **15%** of the contracted sum will require written approval from the **Honorable Financial Secretary (F.S.)**.
- .2 The final date for Interim Payments to the Contractor will be 14 days from its due date and after the issue of a Payment Certificate based on the value of work completed to date. A **retention of 5%** will be held from the value of each certificate up to a **maximum of 3%** of the contract sum. Such retention money will be released at the end of the rectification period provided that all works have been completed to the satisfaction of the Employer.

20 Rectification Period

- .1 A warranty period of 12 months' forms part of the Contract agreement, during which time the Contractor bears the full responsibility for the execution of maintenance of the works. His responsibility should not be limited to and must include any and all repairs and or replacement of fittings/fixtures, connections and installation which malfunction or prove to be defective whether under Manufacturer's guarantee or not and any repair or correction which might become necessary due to the failure and incorrect performance of the Contractor or of his sub-contractor.

21 Handing Over Completed Works

- .1 The Contractor shall **notify** the Employer in **writing** of his completion of the contracted Works. The said work shall be subject to the satisfaction of the employer and the statutory body having jurisdiction that all the works is completed and in good order. The Project Architect/ Contract Administrator shall **certify** the **date** when in his opinion, the works have reached practical completion. This date shall be the date of commencement of the **rectification period**.

22 Schedules of Defects and Instructions

- .1 If any defects, shrinkages or other faults in the Works or a section appear within the relevant Rectification Period due to materials, goods or workmanship not in accordance with this contract, such defects, shrinkages or other faults shall be specified by the Project Architect/ Contract Administrator in a schedule of defects, shrinkage or other faults to be made good, provided no instructions shall be issued after delivery of a schedule of defects or more than 14 days after the expiry of the relevant Rectification Period.
- .2 Within a reasonable time after receipt of such schedule or instructions, the defects, shrinkages and other faults shall at no cost to the Employer be made good by the Contractor unless the Project Architect/ Contract Administrator with the Employer's consent shall otherwise instruct. If he does so otherwise instruct, an appropriate deduction shall be made from the Contract Sum in respect of the defects, shrinkages and other faults not made good.

23 Failure to Meet Completion Date

- .1 Should the contractor fail to complete the contracted works within the agreed time he shall be subject to a fine of **two thousand four hundred and fifty dollars (EC\$2450)** per day in **Liquidated Damages** for every day the completion is overdue.

24 Matters not Contained in the Contract

- .1 Any matter not explicitly provided for within this Contract shall be in the matter of a separate agreement between the Employer and Contractor. Any such agreement shall be part of his Contract.

25 Matter of Disagreement/Resolution

- .1 If a dispute arises under this Contract, the parties agree that they would first exhaust the provisions outlined in sections 46, 47 and 48 of the Public Finance (Management and Accountability) Procurement regulations 2012. If the parties fail to come to an amicable resolution through the provisions outlined above, then the dispute shall be settled with the help of a mutually agreed-upon mediator in Montserrat. If no resolution can still be reached, then the parties may opt for legal proceedings in the courts. The parties shall share any costs and fees equally, other than attorney fees associated with the resolution process.

26 Contract Documents

- .1 The Contractor shall receive two complete copies of Contract Documents.
- .2 Subsequent to the commencement of the Contract, the Contractor shall receive a copy of all additions to and amendments to the Specifications or drawings.

27 Work not in accordance with the Contract

- .1 If any work materials or goods are not in accordance with this Contract the Project Architect/ Contract Administrator, may issue instructions in regard to the removal from the site of all or any such work, materials or goods;
- .2 after consultation with the Contractor and with the agreement of the Employer, allow all or any of such work, materials or goods to remain in which event he shall notify the Contractor to that effect but that shall not be construed as a variation and an appropriate deduction shall be made from the Contract Sum.

28 Workmanship not in accordance with the Contract

- .1 Where there is any failure to comply with clause 9 in regard to the carrying out of work in a proper and workmanlike manner the Architect/Contract Administrator, in addition, may after consultation with the Contractor, issue such instructions (whether requiring a Variation or otherwise) as are necessary. To the extent that such instructions are reasonable necessary, no addition shall be made to the Contract Sum and no extension of time shall be given.

29 Contractor Performance Report

- .1 It is a requirement of the Client for the Engineer to assess the performance of the Contractor upon Final Certificate and final payment. The assessment will be based on the following criteria;
 - i. The project deliverables achieved,
 - ii. Organization & management of works,
 - iii. Quality of work provided,
 - iv. Health & Safety plan implementation,
 - v. Management of Finances & budget,
 - vi. Technical performance & adherence to specifications,
 - vii. Completion time and scheduling.
- .2 The assessment has an overall maximum score of 1 and the following are the ratings that can be achieved;

1.00 – 0.75 = Very Good Performance

0.74 – 0.50 = Good Performance

0.49 – 0.25 = Poor Performance

0.24 – 0.10 = Very Poor Performance
- .3 If Contractor has attained an overall score less than 0.50 at the end of the contract performance reporting period, the Contractor will be subjected to sanctions by procuring entities.
- .4 Once a contractor has attained a first score of less than 0.50 which indicated poor performance, he/she will be sanctioned and is allowed to bid on projects that has an estimated value EC\$50,000 or less. This sanction will be implemented for 12 months.
- .5 If the Contractor has a second score on another project less than 0.50, the Contractor will be suspended from being eligible to bid on any project regardless of the value. This suspension and sanctions will run for 1 year.
- .6 After a 1-year suspension or sanction, the Contractor will be allowed to bid only on contracts valued at EC\$ 50,000 or less. If on this occasion the Contractor's score is 0.75 or greater only then will he be allowed to bid on contracts valued above EC\$50,000. If his score is less than 0.75 but is equal to or greater than 0.5, he will only be allowed to bid on contracts valued at \$50,000 or less until he can achieve a higher score.

30 Termination of the Contract

- .1 Notice of termination of the Contractor's employment shall not be given unreasonable or vexatiously.
- .2 Such termination shall take effect on receipt of the relevant notice.
- .3 Each notice referred to in this section shall be given in accordance with Clause 4.

31 Other Rights, Reinstatement

- .1 The provisions of clause 32 to 35 are without prejudice to any other rights and remedies of the Employer. The provisions of clause 37 and 39, are without prejudice to any other rights and remedies of the Contractor.
- .2 Irrespective of the grounds of termination, the Contractor's employment may at any time be reinstated if and on such terms as the Parties agree.

32 Termination by Employer

Default by Contractor

- .1 If, before practical completion of the Works, the Contractor:
 - .1 Without reasonable cause wholly or substantially suspends the carrying out of the Works or
 - .2 Fails to proceed regularly and diligently with the Works or
 - .3 Refuses or neglects to comply with a notice or instruction from the Project Architect/Supervising Officer requiring him to remove any work, materials or goods not in accordance with this contract and by such refusal or neglect the Works are materially affected; or
 - .4 Fails to comply with clause 6

The Project Architect/Supervising Officer may give to the Contractor a notice Specifying the default or defaults (the 'specified default or defaults').

- .2 If the Contractor continues a specified default for 14 days from receipt of

the notice under clause 32, the Employer may on, or within 21 days from, the expiry of that 14-day period by a further notice to the Contractor terminate the Contractor's employment under this contract.

- .3 If the Employer does not give the further notice referred to in clause 32.2 (whether as a result of the ending of any specified default or otherwise) but the Contractor repeats a specified default (whether previously repeated or not), then, upon or within a reasonable time after such repetition, the Employer may by notice to the Contractor terminate that employment.

33 Insolvency of Contractor

- .1 If the Contractor is insolvent, the Employer may at any time by notice to the Contractor terminate the Contractor's employment under this contract.
- .2 The Contractor shall immediately notify the employer if he makes any proposal, gives notice of any meeting or become the subject of any proceedings or appointment relating to any matters of insolvency.
- .3 As from the date the Contractor becomes Insolvent, whether or not the Employer has given such notice of termination:
 - .1 Clauses 35.3 to 35.5 and (if relevant) clause 36 shall apply as if such notice had been given;
 - .2 The Contractor's obligations under the contract and these Conditions to carry out and complete the Works shall be suspended; and
 - .3 The Employer may take reasonable measures to ensure that the site, the Works and Site Materials are adequately protected and that such Site Materials are retained on site; the Contractor shall allow and shall not hinder or delay the taking of those measures.

34 Corruption

- .1 The Employer shall be entitled by notice to the Contractor to terminate the Contractor's employment under this or any other contract with the Employer if, In relation to this or any other such contract, the Contractor or any person employed by him or acting on his behalf shall have committed an offence under the Penal Code Act of Montserrat, shall have given any fee or reward the receipt of which is an offence under Part 5 Section 78.

35 Consequences of Termination Under Clause 32 to 34

If the Contractor's employment is terminated under clause 32, 33 or 34:

- .1 The Employer may employ and pay other persons to carry out and complete the Works and to make good any defects of the kind referred to in clause 22, and he and they may enter upon and take possession of the site and the Works and (subject to obtaining any necessary third party consents) may use all temporary buildings, plant, tools, equipment and Site materials for those purposes;
- .2 the Contractor shall:
 - .1 when required in writing by the Project Architect/Supervising Officer to do so (but not before) remove or procure the removal from the Works of any temporary buildings, plant, tools, equipment, goods and materials belonging to the Contractor or Contractor's Persons;
 - .2 if so required by the Employer (or by the Project Architect/Contract Administrator on his behalf) within 14 days of the date of termination, assign (so far as assignable and so far as he may lawfully be required to do so) to the Employer, without charge, the benefit of any agreement for the supply of materials or goods and/or for the execution of any work for the purposes of this Contract.
- .3 no further sum shall become due to the Contractor under this Contract other than any amount that may become due to him under clause 35.5 or 36.2 and the Employer need not pay any sum that has already become due either:
 - .1 insofar as the Employer has given or gives a Pay Less Notice to specify both the sum that he considers to be due to the Contractor at the date the notice is given and the basis on which that sum has been calculated; or
 - .2 if the Contractor, after the last date upon which such notice could have been given by the Employer in respect of that sum, has become insolvent;
- .4 following the completion of the Works and the making good of defects in them (or of instructions otherwise, as referred to in clause 22), an account of the following shall within 3 months thereafter be set out in a certificate issued by the Project Architect/Contract Administrator or a statement prepared by the Employer:
 - .1 The amount of expenses properly incurred by the Employer, including those incurred pursuant to clause 35.1 and, where applicable, clause 35.3.3, and of any direct loss and/or damage caused to the Employer and for which the Contractor is liable, whether arising as a result of the termination or otherwise:

- .2 the amount of payments made to the Contractor; and
- .3 the total amount which would have been payable for the Works in accordance with this Contract;
- .5 If the sum of the amounts stated under clauses 35.4.1 and 35.4.2 exceeds the amount stated under clause 35.4.3, the difference shall be a debt payable by the Contractor to the Employer or, if that sum is less, by the Employer to the Contractor.

36 Employer's Decision not to Complete the Works

- .1 If within the period of 6 months from the date of termination of the Contractor's employment the Employer decides not to have the Works carried out and completed, he shall forthwith notify the Contractor. Within a reasonable time from the date of such notification, or if no notification is given but within that 6-month period the employer does not commence to make arrangements for such carrying out and completion, then within 2 months of the expiry of that 6-month period, the Employer shall send to the Contractor a statement setting out:
 - .1 the total value of work properly executed at the date of termination or date on which the Contractor became Insolvent, ascertained in accordance with these Conditions as if the employment had not been terminated, together with any amounts due to the Contractor under these Conditions not included in such total value; and
 - .2 the aggregate amount of any expenses properly incurred by the Employer and of any direct loss and/or damage caused to the Employer and for which the Contractor is liable, whether arising as a result of the termination or otherwise.
- .2 After taking into account amounts previously paid to the Contractor under this Contract, if the amount stated under clause 36.1.2 exceeds the amount stated under clause 36.1.1, the difference shall be debt payable by the Contractor to the Employer or, if the clause 36.1.2 amount is less, by the Employer to the Contractor.

37 Termination by Contractor

Default by Employer

.1 if the Employer;

- .1 Does not pay by the final date for payment the amount due to the Contractor in accordance with clause 19 and/or any VAT properly chargeable on that amount; or
- .2 interferes with or obstructs the issue of any certificate due under this Contract; or
- .3 fails to comply with clause 6; or

The contractor may give the Employer a notice specifying the default or defaults (the 'specified default or defaults').

.2 If before practical completion of the Works the carrying out on a whole or substantially the whole of the uncompleted Works is suspended for a continuous period of 14 days by the reason of:

- .1 Project Architect/Contract Administrator's instructions in respect of errors, omissions or inadequacy or any other discrepancy or divergence in or between the Contract Drawings, Contract Bills, Construction information, levels and setting out of the works, he shall immediately give notice with appropriate details to the Project Architect.
- .2 any impediment, prevention or default, whether by act or omission, by the Employer, Project Architect/Contract Administrator, the Quantity Surveyor or any of the Employer's persons, continues for 14 days the contractor may on, or within 21 days from, the expiry of the 14-day period by a further notice to the Employer terminate the Contractor's employment under this contract.
- .3 If the contractor for any reason does not give the further notice but the employer repeats a specified default or a specified suspension event is repeated for any period, such that the regular progress of the works is or is likely to be materially affected thereby,

then, upon or within a reasonable time after such repetition, the Contractor may by notice to the Employer terminate the Contractor's employment under this Contract.

38 Termination by Either Party

- .1 If before practical completion of the Works, the carrying out of the whole or substantially the whole of the uncompleted Works is suspended for the relevant continuous period of 14 days by reason of:
 - .1 force majeure;
 - .2 Project Architect/Contract Administrator's instructions under clause 4.4 issued as a result of the negligence or default of any Statutory Undertaker;
 - .3 loss or damage to the Works occasioned by any of the Specified Perils;

then either party, subject to clause 38.2, may upon the expiry of that relevant period of suspension give notice to the other that, unless the suspension ceases within 7 days after the date of receipt of that notice, he may terminate the Contractor's employment under this Contract. Failing such cessation within that 7-day period, he may then by further notice terminate that employment.

- .2 The Contractor shall not be entitled to give notice under clause 38.1 in respect of the matter referred to in clause 38.1.3 where the loss, or damage to the Works occasioned by a Specified Peril was caused by the negligence or default of the Contractor or of any of the Contractor's Person.

39 Consequences of Termination under Clauses 37 to 38

If the Contractor's employment is terminated under clause 37 to 38

- .1 no further sums shall become due to the Contractor otherwise than in accordance with this clause 39;
- .2 the Contractor shall:
 - .1 with all reasonable dispatch remove or procure the removal from the site of any temporary buildings, plant, tools and equipment belonging to the Contractor and Contractor's Persons and, subject to the provisions of clause 39.5, all goods and materials (including site materials); and
- .3 where the Contractor's employment is terminated under clause 37 the Contractor shall as soon as reasonably practicable prepare and submit an account or, where

terminated under clause 38, the Contractor shall at the Employer's option either prepare and submit that account or, not later than 2 months after the date of termination, provide the Employer with all documents necessary for the Employer to do so, which the Employer shall do with reasonable dispatch (and in any event within 3 months of receipt of such documents). The account shall set out the amounts referred to in clauses 39.3.1 to 39.3.4 and, if applicable, clause 39.3.5, namely:

- .1 the total value of work properly executed at the date of termination of the Contractor's employment, ascertained in accordance with these Conditions as if the employment had not been terminated, together with any other amounts due to the Contractor under these conditions;
 - .2 the reasonable cost of removal under clause 39.2;
 - .3 the cost of materials or goods (including Site Materials) properly ordered for the Works for which the Contractor then has paid or is legally bound to pay;
 - .4 any direct loss and/or damage caused to the Contractor by the termination;
- .4 the account shall include the amount, if any, referred to in clause 39.3.4 only where the Contractor's employment is terminated either:
- .1 under clause 39 or
 - .2 under clause 38.1.3, if the loss or damage to the Works occasioned by any of the Specified Perils was caused by the negligence or default of the Employer or of any of the Employer's Persons;
- .5 after taking into account amounts previously paid to the Contractor under this Contract, the Employer shall pay to the Contractor (or vice versa) the amount properly due in respect of the account within 28 days of its submission to the other Party, without deduction of any Retention. Payment by the Employer for any such materials and goods as are referred to in clause 39.3.3 shall be subject to such materials and goods thereupon becoming the Employer's property.

40 Variation

Definition of Variations

The term 'Variation' means;

- .1 the alteration or modification of the design, quality or quantity of the works including:
 - .1 the addition, omission or substitution of any work;
 - .2 the alteration of the kind or standard of any of the materials or goods to be used in the Works;
 - .3 the removal from the site of any work executed or Site Materials other than work, materials or goods which are not in accordance with this Contract;
- .2 the imposition by the Employer of any obligations or restrictions in regard to the matters set out in clause 40.1.2 or the addition to or alteration of any such obligations or restrictions so imposed or imposed by the Employer in the Contract Bills or in the Employer's requirements in regard to:
 - .1 access to the site or use of any specific parts of the site;
 - .2 limitations of working space; or
 - .3 limitations of working hours;

41 Valuation of Variations and Provisional Sum Work

- .1 Subject to clause 41.2, the value of:
 - .1 all Variations required by the Project Architect/Contract Administrator's instructions or subsequently sanctioned by him in writing;

- .2 all work which under these conditions is to be treated as a Variation;
- .3 all work executed by the Contractor in accordance with Project Architect/Contract Administrator's instructions as to the expenditure of Provisional Sums included in the Contract Bills or in the Employers Requirements;

shall be such amount as is agreed by the Employer and the Contractor or, where not agreed, shall, unless otherwise agreed by the Employer and the Contractor, be the amount valued by the Quantity Surveyor (a 'Valuation') in accordance with clause 44 ('the Valuation Rules').

- .2 Clause 41.1 shall not apply in respect of a Variation for which a Variation Quotation is made and for which the Project Architect/Contract Administrator issues a Confirmed Acceptance or in respect of a Variation thereto to which clause 42.3 applies

42 Variation Quotation

- .1 If the Project Architect/Contract Administrator in his instructions for a Variation states that the Contractor is to provide a quotation (a Variation Quotation), the Contractor shall subject to receipt of sufficient information provide a quotation in accordance with those provisions, unless within 7 days of his receipt of that instruction (or such longer period as is either stated in the instruction or agreed between them) he notifies the Project Architect/Contract Administrator that he disagrees with the application of the procedure to that instruction.
- .2 If the Contractor notifies his disagreement within that period, he shall not be obliged to provide that quotation and the Variation shall not be carried out unless and until the Project Architect/Contract Administrator gives a further instruction that the Variation is to be carried out and is to be valued by a Valuation.
- .3 Where a Variation Quotation has been made for work and a Confirmed Acceptance issued, then, if the Project Architect/Contract Administrator subsequently issues an instruction requiring a Variation of that work, the Quantity Surveyor shall make a valuation of that Variation on a fair and reasonable basis having regard to the content of that quotation and shall include in that valuation the direct loss and/or expense, if any, incurred by the Contractor because the regular progress of the Works or of any part of them is materially affected by compliance with the instruction.

43 Contractor's right to be Present at Measurement

- .1 Where it is necessary to measure work for the purpose of a Valuation the Quantity Surveyor shall give the Contractor an opportunity to be present at the time of such measurement and to take such notes and measurements as the Contractor may require.
- .2 Effect shall be given by means of addition to or deduction from the Contract Sum to each agreement by the Employer and the Contractor under clause 41.1 each Valuation, each Confirmed Acceptance and each valuation under clause 42.3.

44 The Valuation Rules

Measurable Work

- .1 To the extent that a Valuation relates to the execution of additional or substituted work which can be valued by measurement or to the execution of work for which an Approximate Quantity is included in the Contract Bills, such work shall be measured and shall be valued in accordance with the following rules:
 - .1 where the additional or substituted work is of similar character to, is executed under similar conditions as, and does not significantly change the quality of, work set out in the Contract Bills, the rates and prices for the work so set out shall determine the valuation;
 - .2 where the additional or substituted work is of similar character to work set out in the Contract Bills but is not executed under similar conditions there to and/or significantly changes its quantity, the rates and prices for the work so set out shall be the basis for determining the valuation and the Valuation shall include a fair allowance for such difference in conditions and/or quantity;
 - .3 where the additional or substituted work is of similar character to work set out in the Contract Bills, the work shall be valued at fair rates and prices;
- .2 In any valuation of work under clause 44.1
 - .1 Measurement shall be in accordance with the same principles as

those governing the preparation of the Contract Bills;

- .2 allowance shall be made for any percentage or lump sum adjustments in the Contract Bills; and
- .3 allowance, where appropriate, shall be made for any addition to or reduction of preliminary items of the type referred to in the Standard Method of Measurement, provided that no such allowance shall be made in respect of compliance with a Project Architect/Contract Administrator's instruction for the expenditure of a Provisional Sum for defined work.

GOVERNMENT OF MONTSERRAT

TENDER SUBMISSION ANTI-COLLUSION CERTIFICATE

I/WE CERTIFY THAT THIS TENDER IS MADE IN GOOD FAITH, AND THAT WE HAVE NOT FIXED OR ADJUSTED THE AMOUNT OF THE TENDER BY OR UNDER OR IN ACCORDANCE WITH ANY AGREEMENT OR ARRANGEMENT WITH ANY OTHER PERSON. I/WE ALSO CERTIFY THAT WE HAVE NOT AND I/WE UNDERTAKE THAT WE WILL NOT BEFORE THE AWARD OF ANY CONTRACT FOR THE WORK:

DISCLOSE THE TENDER PRICE OR ANY OTHER FIGURES OR OTHER INFORMATION IN CONNECTION WITH THE TENDER TO ANY OTHER PARTY (INCLUDING ANY OTHER COMPANY OR PART OF A COMPANY FORMING PART OF A GROUP OF COMPANIES OF WHICH I AM/WE ARE A PART OF) NOR TO ANY SUB-CONTRACTOR (WHETHER NOMINATED OR DOMESTIC) NOR SUPPLIER (WHETHER NOMINATED OR DOMESTIC) OR ANY OTHER PERSON TO WHOM SUCH DISCLOSURE COULD HAVE THE EFFECT OF PREVENTING OR RESTRICTING FULL COMPETITION IN THIS TENDERING EXERCISE

ENTER INTO ANY AGREEMENT OR ARRANGEMENT WITH ANY PERSON THAT THEY SHALL REFRAIN FROM TENDERING, THAT THEY SHALL WITHDRAW ANY TENDER ONCE OFFERED OR VARY THE AMOUNT OF ANY TENDER TO BE SUBMITTED OR OTHERWISE COLLUDE WITH ANY PERSON WITH THE INTENT OF PREVENTING OR RESTRICTING FULL COMPETITION

PAY, GIVE OR OFFER PAY OR GIVE ANY SUM OF MONEY OR OTHER VALUABLE CONSIDERATION DIRECTLY OR INDIRECTLY TO ANY PERSON FOR DOING OR HAVING DONE OR CAUSING OR HAVING CAUSED TO BE DONE IN RELATION TO ANOTHER TENDER OR PROPOSED TENDER FOR THE WORK ANY ACT OR THING OF THE SORT DESCRIBED AT I), II) OR III) ABOVE.

I/WE FURTHER DECLARE THAT I/WE HAVE NO KNOWLEDGE EITHER OF ANY SUM QUOTED OR OF ANY OTHER PARTICULARS OF ANY OTHER TENDER FOR THIS CONTRACT BY ANY OTHER PARTY.

I/WE FURTHER CERTIFY THAT THE PRINCIPLES DESCRIBED ABOVE HAVE BEEN, OR WILL BE, BROUGHT TO THE ATTENTION OF ALL SUB-CONTRACTORS, SUPPLIERS AND ASSOCIATED COMPANIES PROVIDING SERVICES OR MATERIALS CONNECTED WITH THE TENDER AND ANY CONTRACT ENTERED INTO WITH SUCH SUB-CONTRACTORS, SUPPLIERS OR ASSOCIATED COMPANIES WILL BE MADE ON THE BASIS OF COMPLIANCE WITH THE ABOVE PRINCIPLES BY ALL PARTIES.

I/WE ACKNOWLEDGE THAT ANY BREACH OF THE FOREGOING PROVISIONS SHALL LEAD AUTOMATICALLY TO THIS TENDER BEING DISQUALIFIED AND MAY LEAD TO CRIMINAL OR CIVIL PROCEEDINGS. THE GOVERNMENT OF MONTSERRAT SHALL TREAT ANY TENDER RECEIVED IN CONFIDENCE BUT RESERVES THE RIGHT TO MAKE THE SAME AVAILABLE TO ANY OTHER FUNDING ORGANISATION OR STATUTORY REGULATORY AUTHORITY EITHER HAVING JURISDICTION OVER THE WORKS OR WHO MAY NOW OR AT ANY TIME IN THE FUTURE HAVE STATUTORY POWER TO REQUIRE DISCLOSURE OF THIS TENDER.

IN THIS CERTIFICATE, THE WORD 'PERSON' INCLUDES ANY PERSONS AND ANY BODY OR ASSOCIATION, INCORPORATED OR UNINCORPORATED; ANY AGREEMENT OR ARRANGEMENT INCLUDES ANY TRANSACTIONS, FORMAL OR INFORMAL AND WHETHER LEGALLY BINDING OR NOT; AND 'THE WORK' MEANS THE WORK IN RELATION TO WHICH THIS TENDER IS MADE.

SIGNATURE..... IN THE CAPACITY OF

DATE.....2017

DULY AUTHORISED TO SIGN TENDERS AND ACKNOWLEDGE THE CONTENTS OF THE ANTI-COLLUSION CERTIFICATE FOR AND ON BEHALF OF:

NAME OF FIRM.....

FULL POSTAL ADDRESS.....

TELEPHONE No..... FAX No

EVALUATION OF TENDER

Evaluation Criteria

The following evaluation criteria will be used to evaluate tenderers submissions received in response to the Invitation to Tender delivered. The Administrative Compliance would be applied before the remaining criteria and is either a pass or fail, with failure meaning that bids would be deemed Non-compliant. Please note that any bids deemed Non-compliant will not be evaluated.

Criteria Description	Weight (%)
Administrative Compliance	Pass / Fail
Method Statement / Risk Assessment	15
Programme of Works	20
Financial Compliance	40
Technical Compliance & Tenderer's Experience	25

Administrative Compliance (Pass/Fail)

Tenderers must submit all the documents requested in the tender pack document. The tender checklist provides a list of requirements which need to be fulfilled. All Tenderers are required to **fully complete** the Form of Tender including the **commencement time** and the proposed **completion time** which are highlighted. In addition, Tenderers are required to fully complete the Bill of Quantities and Schedules A - D provided. A valid Tax Compliance Certificate must be submitted with each submission **(if tenderer locally based)**. Tenderers must **sign** and **date** the Anti-Collusion statement. In addition, details of two (2) previous works of similar nature must be submitted in accordance with the Technical Compliance requirements. Submission of these fulfils The Administrative Compliance which is weighted a Pass/Fail. Where **all** the above requirements have been fulfilled then the tenderer would advance to the subsequent evaluation criteria. If any of the above mentioned items are not submitted, then the tender would be deemed **non-compliant** and the submission rejected.

Method Statement and Risk Assessment (15%)

Tenderers are required to submit a Method Statement to be used to help manage the work and ensure that the necessary precautions have been communicated to all parties so the wellbeing of the workforce is not affected. This will be a means of controlling specific Health and Safety risks identified, (example: noise and dust pollution; protection for site personnel, equipment, and the general public). Tenderers should provide a fully detailed outline of the work task or process which should be completed in carrying out the said works. Risk control strategies and procedures should also be identified to ensure that all the significant Health and Safety risks can be lessened. Tenderers should also submit a risk method statement to show who is responsible and how to eliminate (or reduce as far as possible) the possibility of an accident occurring where individuals may suffer injury or work related illness, or where property may be damaged. Ensuring Health and Safety of all throughout the works is paramount to the project's success. This criterion would be assessed by a 15% weighting.

Programme of Works (20%)

Tenderers are required to provide a comprehensive programme of works showing a list of all activities which would be carried out to supply, construct and deliver all the works complete. The programme should effectively show start, duration and end dates of each activity including delivery dates of key materials. All programmes must show dates for testing, commissioning and connection of MUL services and the total duration for completing the works including the date of hand over of keys. Programmes with the necessary requirements would be assessed by obtaining a percentage out of 20%. **Please note that time is key to this projects success therefore programmes should reflect the time stated in the Form of Tender.**

Financial Compliance (40%)

The tendered price is a significant component and the Government of Montserrat will seek to ensure that the works are undertaken at the **Most Economically Advantageous Tendered Price**. Nonetheless, the Government of Montserrat is not bound to accept the lowest or any tender.

The percentage for this criterion will be calculated proportionately in comparison to other priced submissions from tenderers, and assessed by obtaining a required percentage weighting out of (40%).

The **Hon F.S.** has advised that Contractors are to reduce their dependency on GOM taking the **Risk** of providing substantial Advanced Payments to them. In addition, consideration with strong supporting evidence will be required for all Advanced payment request Contractors put in their Payment Schedules of more than **15%**.

Except in cases where there is an exemption from tax, of which proof must be provided; residents of Montserrat for tax purposes are subject to tax on the profits from this project while non-residents are liable to a 20% Withholding Tax deduction from the gross amount.

Please take into consideration your tax obligations and liabilities to the Government of Montserrat. For further information please contact Montserrat Customs & Revenue Service (MCRS) via email at irev@gov.ms

Technical Compliance and Experience (25%)

Adherence to the technical specification is paramount to tenderers achieving success in the evaluation process. Prospective tenderers need to provide details of at least 2 previous contracts completed within the past 5 years of a similar nature to the scope of works of this tender with a value of a minimum \$450,000.00 for material and labour and a minimum value of \$180,000 for labour only. These details should include but are not limited to the following; the entity or person for which the work was completed, contact information for the entity or person, the value of the works, the location of the works. In addition, the prospective tenders can submit award letters for works in lieu of the above mentioned information. The percentage for this criterion will be calculated proportionately in comparison to other submissions from tenders and assessed on a weighting of (25%).

Start Date or Date of Award	Description of Works	Name of Client	Price of Contract	Date Completed



Ministry of Communication, Works & Labour

CONTRACT PERFORMANCE REPORT

GoM Contract Ref MOH			Department Public Works Department			Document Ref. No. PWD17/18-01	
Service/Item Code Infrastructure Contractor Service			Contractor & VDB No (if known)				
Delivery Point / Project Location MOH HQ, Brades			Project & Contract Title "The Construction of Two Bedroom Unit" at Look Out, Lot157				
Project Executing Officer			Project Assessing Officer			Assessment Grade #DIV/0!	
Initial Project Objective			Project Objective Achieved			Variations Agreed	Remark No.
Scope			Scope				
No.	Deliverables	Quantity	No.	Deliverables	Quantity		
1	Foundations	1	1	Foundations	0	NA	
2	Substructure	1	2	Substructure	0	NA	
3	Superstructure	1	3	Superstructure	0	NA	
4	Roof	1	4	Roof	0	NA	
5	Fixtures and Fittings	1	5	Fixtures and Fittings	0	NA	
6	Rendering	1	6	Rendering	0	NA	
7	Tiling	1	7	Tiling	0	NA	
8	Painting	1	8	Painting	0	NA	
9	External Works	1	9	External Works			
10	Clean up	1	10	Clean up			
Quality			Quality				
1	Meets Drawing Specifications	1	1	Meets Drawing Specifications	0	NA	
2	Architect's Inspection (Quality)	1	2	Architect's Inspection (Quality)	0	NA	
3	Material Inspection (Aggregate, Sand)	1	3	Material Inspection (Aggregate, Sand)	0	NA	
4	Material Inspection (Timber)	1	4	Material Inspection (Timber)	0		
5	Material Inspection (reinforcement)	1	5	Material Inspection (reinforcement)	0		
6	Material Inspection (wiring)	1	6	Material Inspection (wiring)	0	NA	
7	Equipment Inspection (Connections)	1	7	Equipment Inspection (Connections)	0		
8	Equipment Inspection (Testing)	1	8	Equipment Inspection (Testing)	0		
9			9		0		
10			10		0	NA	
11			11		0	NA	
12			12				
13			13				
14			14			NA	
15			15			NA	
16			16			NA	
17	NA		17	NA		NA	
Project Non-Conformances			Project Non-Conformances			NA	
Project Value (\$XCD)		\$ -	Project Value (\$XCD)		\$ -	NA	
Programme Time (weeks)			Programme Time (weeks)			NA	

PROJECT CLOSE OUT REPORT

1 - 0.75 = VERY GOOD PERFORMANCE 0.74 - 0.5 GOOD PERFORMANCE 0.49 - 0.25 POOR PERFORMANCE 0.24 - 0.1 VERY POOR PERFORMANCE

Signed (Project Assessing Officer)

Date:

SCHEDULE A: LABOUR RATES

I (We) hereby certify that to the best of my (our) knowledge and belief the wages, hours of work, and conditions of labor of all work people proposed to be employed by me (us) on this project for which I (we) am (are) offering myself (ourselves) as a Contractor are fair and reasonable having regard to the statutory provisions regulating rates of wages as are in force in Montserrat on the date of this my (our) Tender and I (we) will accept responsibility for the observance of these regulations by sub-contractors employed by me (us) in the execution of the works.

The Tenderer shall list the labor, by classification, which he proposes to have on the site for performing all of the work, together with the applicable hourly rates. The rates stated for wages and hours of work as listed below shall include all fringe benefits, overhead and profit.

Class of Work-person	Rates of Wages (*) \$/hr.	Hours of Work (**)
Foreman		
Mason		
Carpenter		
Steel bender/fixer		
Skilled Laborer		
Laborer		
Electrician		
Tiler		
Machine Operator		

I (We) shall pay times the above rates of wages for normal overtime work in excess of hours per work day and Saturdays and times the above rates of wages for work on Sunday and Statutory Holidays.

* per hour

** In a normal working day

Dated this day of 2017

..... (Signature)
Letters)

(Name in Block

being an officer of, and duly authorized to sign on behalf of

.....

..... (Business
Address)

.....
(Telephone)

SCHEDULE B: CONSTRUCTION MATERIALS

On the following page(s) I (We) have listed to the best of my (our) knowledge all of the required construction materials to be incorporated into the permanent Works, together with the names of my (our) proposed suppliers and the unit for each material including the country of origin thereof if not locally sourced.

We have satisfied ourselves that the suppliers' delivery schedules are realistic and/or we have satisfied ourselves that materials are available in sufficient quantities to execute the works without delay, and that materials conform with all requirements of the Specification.

We understand that all materials will be subject to inspection and tests by the Project Architect/Contract Administrator.

Material	Supplier	Unit Cost (EC\$)
Sand		
Aggregate		
Cement		
Reinforcement #3 – 3/8"		
Reinforcement #4 – 1/2"		
Reinforcement #5 – 5/8"		
Reinforcement #6 – 3/4"		
Reinforcement #7 – 7/8"		
Reinforcement #8 – 1"		
Reinforcement #10 BRC welded mesh, 2.9 grade 6mm		
Form Ply - 1/2" and 3/4"		
Truss straps		
Lumber		
Threaded bolts, nuts, washers		
Asphalt Roof shingles		
Concrete screws		
Paint		
Conduit		
Earth rod and clamps		
Switches		
Main switches		
Luminaries and lamps		
Electrical wire		
Lamp holders		
Outlets 110, 240		
Wardrobe unit		
Counters		
Kitchen cabinets		
Kitchen sink		
WC Toilet		
Face Basin		
Basin Mixer (Faucet)		

Bathroom vanity unit		
Wall fixed shower		
Toilet roll holder		
Towel Rail		
Shower Curtain Rod		
Mirror		
Shower mixer roughing valve and trim		
Laundry sink		
Laundry sink mixer		
External Doors		
Internal Doors		
Lever handle and Privacy Locking function		
Hinges		
Aluminum doors		
Windows (sliding sash)		
Anti-slip tiles		
Grout		

Dated this day of 2017

..... (Signature)
Letters)

(Name in Block

being an officer of, and duly authorized to sign on behalf of

.....

.....
Address)

(Business

.....
(Telephone)

SCHEDULE C: CONSTRUCTION EQUIPMENT

I (We) propose to employ the following construction machinery and equipment for the execution of the Works and to the best of my (our) knowledge, the equipment listed is in sufficient capacity to construct all of the Works within the time specified for completion.

Note: Indicate (*) if equipment is to be rented or sub-contracted locally, and provide details. Also list the rate of hourly hire of all equipment for Day-work purposes. Do not list hand tools or normal tools required by trade persons.

Description of Equipment	Hourly Rate for Day-work (EC\$)
Concrete Mixer (with hopper)	
Concrete Mixer (without hopper)	
5 Ton Lorry	
3 Ton Lorry	
Vibrator	
Backhoe	
Bobcat	
Excavator	
Vibrator	
Tele-hoist	

Dated this day of 2017

..... (Signature)

(Name in Block Letters)

being an officer of, and duly authorized to sign on behalf of

.....

.....

(Business Address)

.....

(Telephone)

SCHEDULE D: LIST OF PROPOSED ESTABLISH SUB-CONTRACTORS

I (We) propose to sub-contract the following parts of the Works to the sub-contractors listed below. I (We) agree not to make changes to this list without the written consent of the Project Architect/Contract Administrator.

In my (our) opinion, the sub-contractors named hereunder are reliable and competent to perform that part of the works for which each is listed and, in any case, I (we) understand that all proposed sub-contractors shall be subject to the Project Architect/Contract Administrator's written approval.

Name and Address of Sub-Contractor	Part of the Works
	Steel Bender/Fitter
	Electrician
	Carpenter
	Mason
	Painter
	Landscaping
	Labor
	Plumber

Dated this day of 2017

(Name in Block Letters) (Signature).....

being an officer of, and duly authorized to sign on behalf of

(Business Address)

.....

.....

.....

(Telephone)

Minimum Outline Specification:

Kitchen Cabinets:

- Option I: Prefabricated face frame modules complete with doors, drawers, internal fittings and hardware but excluding handles from approved supplier
- Option II: Treated pine face framed plywood carcasse built in place with standard raised panel doors & drawer fronts. Cabinets shall have edge-lipped fixed internal shelving. Hardware shall be Euro-type concealed hinges for doors and ball bearing slides for drawers

Counters:

12mm solid acrylic resin countertop with 40mm milled bullnose downstand edge profile @ front and 100mm upstand backsplash @ wall junction. Counter fabricator shall template as-built carcasse prior to fabrication. All joints shall be flush and invisible.

Wardrobe Unit:

- Option I: Free standing face frame modules complete with doors, drawers, accessories & hanging rails from approved supplier
- Option II: Treated pine face framed plywood carcasse built in place with standard full louvre doors or similar & approved. Cabinets shall have a fixed internal shelf @ 6'-0" AFF and continuous hanging rail @ 5'-6" AFF.

WC:

Option I: White porcelain close coupled English 'P' trap toilet with water saving dual flush feature. Toilet shall be supplied complete with seat. Toilet shall be supplied with ¼" turn shut-off angle valve, rose, flex line, pan connector and all necessary accessories for full installation into the Works

Option II: White porcelain close coupled 'S' trap toilet with water saving feature. Toilet shall be supplied complete with seat. Toilet shall be supplied with ¼" turn shut-off angle valve, rose, flex line, wax ring, floor fixing brackets and all necessary accessories for full installation into the Works

Face Basin:

Single hole drop-in basin finished in white porcelain and with overflow. Face basin shall be supplied with standard 1 ¼" plastic trap and all necessary accessories for complete installation into the Works

Basin Mixer (Faucet):

Single lever pillar type mixer tap manufactured from solid brass and having ¼ turn disc valve technology. Finish shall be standard chrome over brass. The mixer should include slotted waste and shall be supplied with flexi hose pipes, angle shut-off valves and all necessary fixing to complete the installation

Shower mixer (Roughing valve & Trim):

Roughing-in valve shall be brass bodied, single outlet (non-diverter) type with standard ½" NPT threading. Cartridge shall be ¼ turn ceramic type. Trim shall be single lever with rose

Accessories:

Towel bar, loo roll holder and wall-fix soap shelf of reasonable quality shall be supplied complete with wall fixings suitable for masonry construction

Mirror:

Appx. 24" wide x 30" tall complete with frame compatible for use in damp areas

Kitchen Sink:

Single bowl, 3-hole stainless steel sink with typical dimensions of 25" wide, 22" deep and having a bowl depth of 10"

Bathroom Vanity Unit:

Option I: Prefabricated face frame module complete with doors, and hardware but excluding handles from approved supplier

Option II: Treated pine face framed plywood carcasse built in place with standard raised panel doors. Hardware shall be Euro-type concealed hinges for doors.

Laundry Sink:

24" plastic Laundry tub complete with legs.

Laundry Sink mixer:

4" spread deck mount. Lever operation preferred as these types are more ergonomic (especially for those with physical disabilities). The neck of the faucet shall have movement through 180 degrees. Finish shall be chrome over solid brass

Internal Doors:

Veneered 1 3/8" thick solid core flush OR raised panel formed of stock hardwood timbers

External Doors:

1 1/2" minimum thickness fiberglass OR aluminium. 1 5/8" minimum thickness hardwood is also acceptable

Windows:

Description: Double hung sliding sash with tilt opening feature (for cleaning convenience) complete with locking hardware and insect screens. Units shall be supplied with clear or tinted glass and without dividing lites.

Details: Frame and sash members shall be welded 100% virgin uPVC extrusions and reinforced with aluminium, zinc plated steel or other corrosion resistance material compatible with rigid PVC.

Hardware:

Lock & Keeper: Painted cast zinc sweep lock and keeper.

Sash Release Tilt Mechanisms: High impact nylon housing and latch units

Tilt Pivot Bar: Zinc plated steel with high strength and rigidity.

Weather Stripping: Silicone treated pile with a polypropylene center fin. Closed cell bulb weather seal.

Insect screens: Removable for cleaning

Locks & Cylinders:External doors:

Description: Keyed single cylinder lever with internal thumb turn

Details: Locks shall be fully reversible, have concealed screws for both interior and exterior levers, having stainless internals and shall feature a manufacturer's warranty of at least 10 years on both mechanical and finish performance.

Bedroom & Bathroom:

Lever handle with privacy locking function

Hinges:

Stainless steel ball bearing butts:

External doors shall be 4"x4" (1.5 pairs)

Internal doors shall be 3"x3" (1.5 pairs)

Shutter hinges shall be 3"x3" (1.5 pairs)

Roofing shingles:

Asphalt roofing shingles with algae/fungal resistant coating

Structural Timbers:

Framing timbers shall be kiln dried and pressure treated against decay and insect attack. Timbers shall be certified structural grade

Decorative Coatings:

Internal walls: Washable satin emulsion over masonry primer

External walls: Trowel applied latex based finish with anti-fungal additive such as *Trowel Plastic* or similar and approved

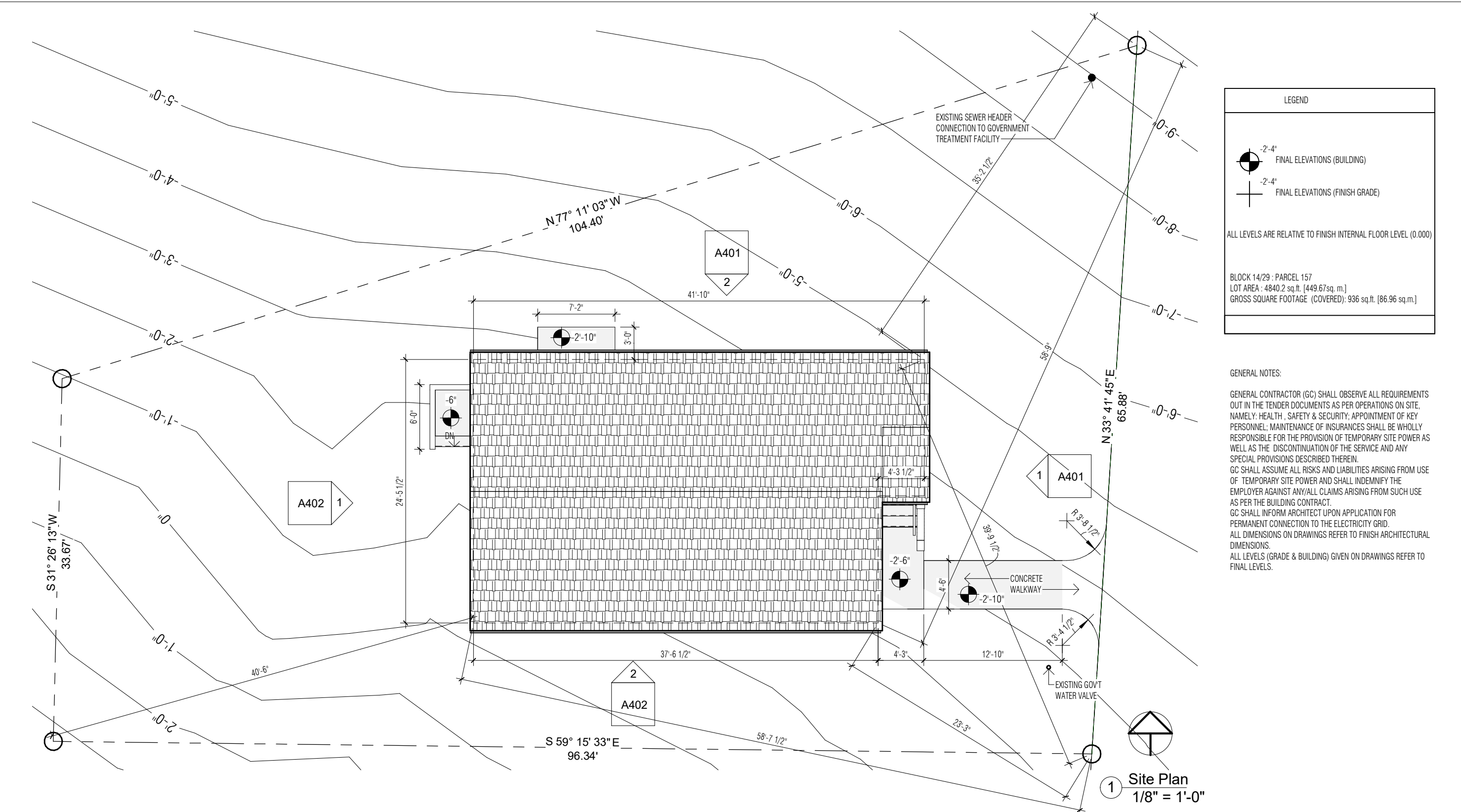
Exposed framing timbers & door frames: Satin finish oil paint over primer. Primer shall be the popular 'gripper' type of primer that provides for proper adhesion of the top coat

Built-in cabinetry: Water based interior stain formulations designed for rag or bristle brush application. No gel types

Tiles:

External and wet areas require anti-slip performance

***** END OF SPECIFICATION *****



1 Site Plan
1/8" = 1'-0"

PWD

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MATHLE

Social Housing - 2 Bedroom Unit @ Lot 157
Lookout, St. Johns, Montserrat

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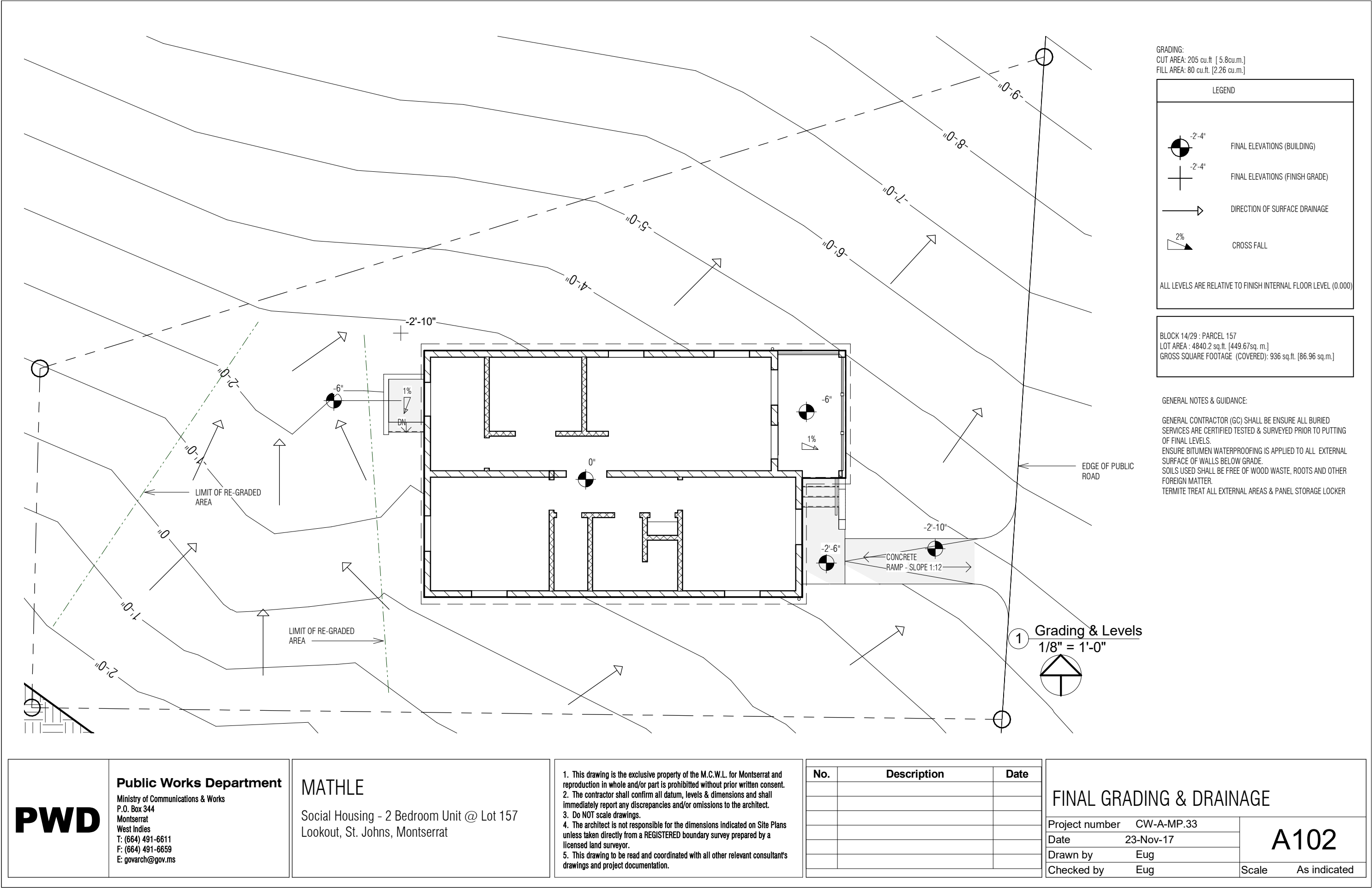
No.	Description	Date
01		

SITE PLAN

Project number CW-A-MP.33
Date 23-Nov-17
Drawn by Eug
Checked by Eug

A101

Scale As indicated



GRADING:
CUT AREA: 205 cu.ft. [5.8cu.m.]
FILL AREA: 80 cu.ft. [2.26 cu.m.]

LEGEND	
	FINAL ELEVATIONS (BUILDING)
	FINAL ELEVATIONS (FINISH GRADE)
	DIRECTION OF SURFACE DRAINAGE
	CROSS FALL

ALL LEVELS ARE RELATIVE TO FINISH INTERNAL FLOOR LEVEL (0.000)

BLOCK 14/29 : PARCEL 157
LOT AREA : 4840.2 sq.ft. [449.67sq. m.]
GROSS SQUARE FOOTAGE (COVERED): 936 sq.ft. [86.96 sq.m.]

GENERAL NOTES & GUIDANCE:

GENERAL CONTRACTOR (GC) SHALL BE ENSURE ALL BURIED SERVICES ARE CERTIFIED TESTED & SURVEYED PRIOR TO PUTTING OF FINAL LEVELS.

ENSURE BITUMEN WATERPROOFING IS APPLIED TO ALL EXTERNAL SURFACE OF WALLS BELOW GRADE.

SOILS USED SHALL BE FREE OF WOOD WASTE, ROOTS AND OTHER FOREIGN MATTER.

TERMITE TREAT ALL EXTERNAL AREAS & PANEL STORAGE LOCKER

1

Grading & Levels
1/8" = 1'-0"

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Social Housing - 2 Bedroom Unit @ Lot 157
Lookout, St. Johns, Montserrat

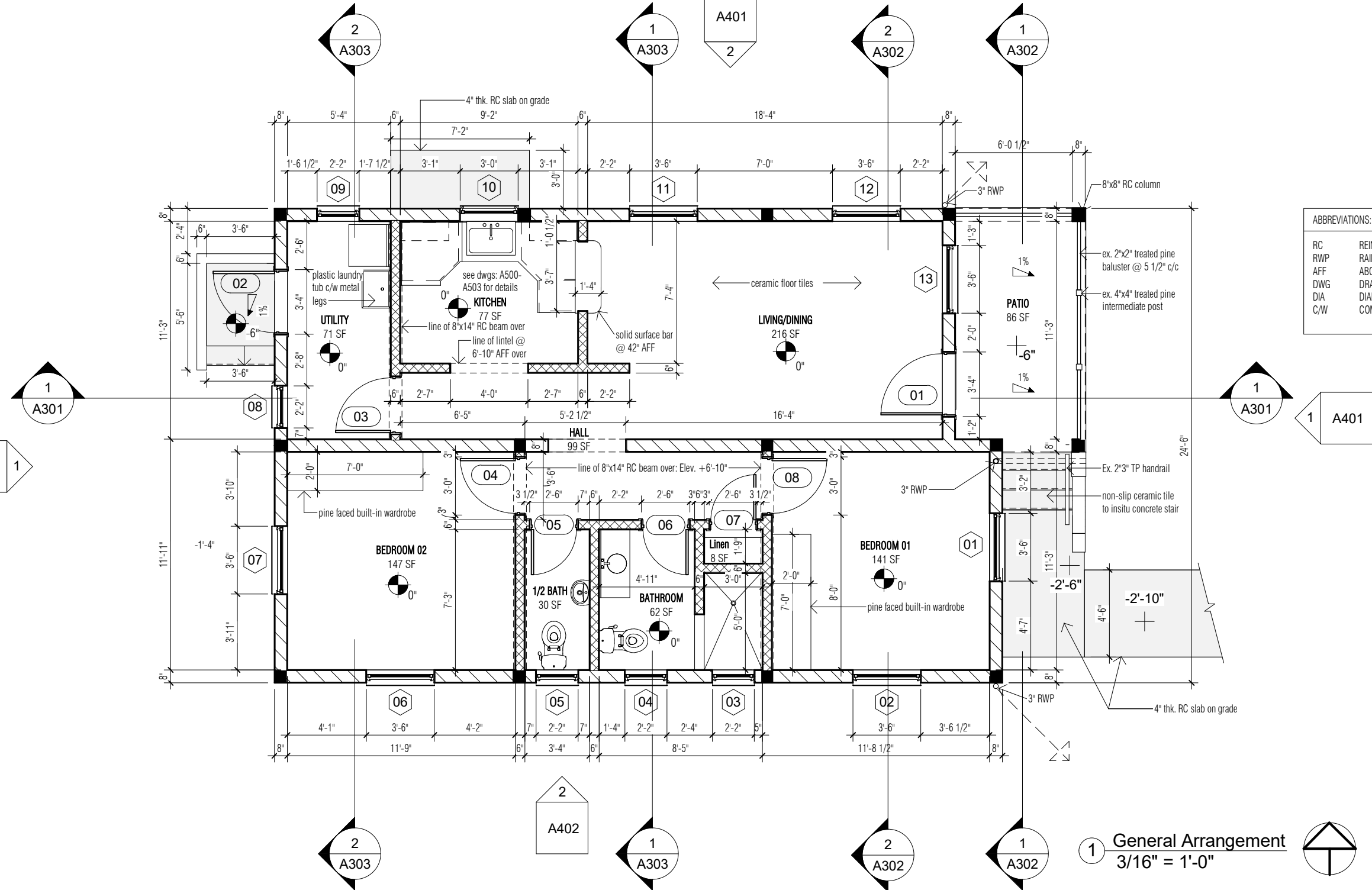
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No.	Description	Date

FINAL GRADING & DRAINAGE

Project number	CW-A-MP.33	A102
Date	23-Nov-17	
Drawn by	Eug	
Checked by	Eug	

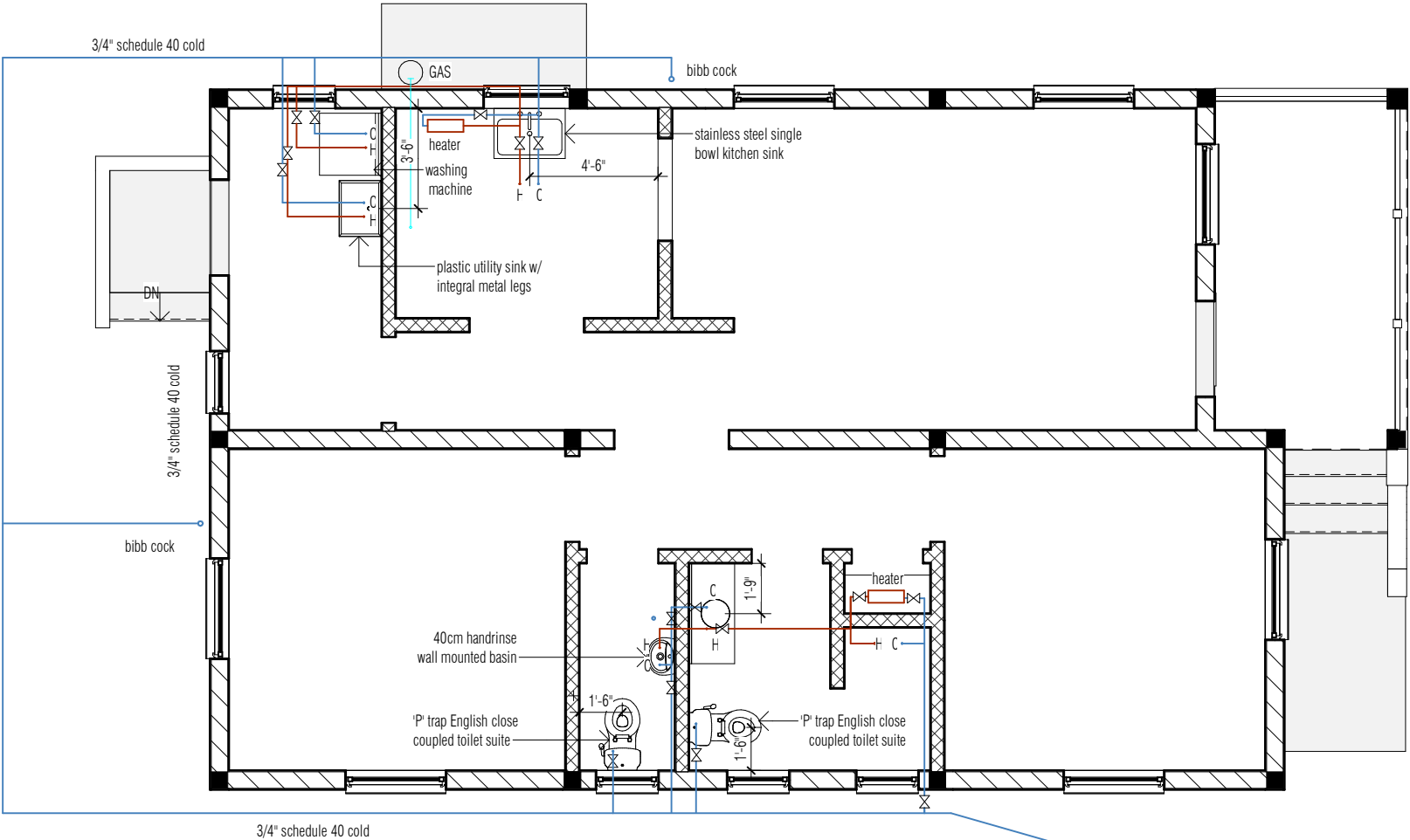
Scale As indicated



ABBREVIATIONS:	
RC	REINFORCED CONCRETE
RWP	RAIN WATER DOWN PIPE
AFF	ABOVE FINISH FLOOR LEVEL
DWG	DRAWING
DIA	DIAMETER
C/W	COMPLETE WITH

1 General Arrangement
3/16" = 1'-0"

PWD	Public Works Department Ministry of Communications & Works P.O. Box 344 Montserrat West Indies T: (664) 491-6611 F: (664) 491-6659 E: govarch@gov.ms	MATHLE Social Housing - 2 Bedroom Unit @ Lot 157 Lookout, St. Johns, Montserrat	1. This drawing is the exclusive property of the M.C.W.L. for Montserrat and reproduction in whole and/or part is prohibited without prior written consent. 2. The contractor shall confirm all datum, levels & dimensions and shall immediately report any discrepancies and/or omissions to the architect. 3. Do NOT scale drawings. 4. The architect is not responsible for the dimensions indicated on Site Plans unless taken directly from a REGISTERED boundary survey prepared by a licensed land surveyor. 5. This drawing to be read and coordinated with all other relevant consultant's drawings and project documentation.			<table><tr><th>No.</th><th>Description</th><th>Date</th></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	No.	Description	Date																GENERAL ARRANGEMENT	
	No.		Description	Date																						
Project number CW-A-MP.33		A201																								
Date 23-Nov-17																										
Drawn by Eug																										
Checked by Eug																										
Scale 3/16" = 1'-0"																										



GENERAL NOTES:

GENERAL CONTRACTOR (GC) SHALL MAKE APPLICATION FOR CONNECTION TO GOVERNMENT WATER MAINS ON BEHALF OF MINISTRY OF HOUSING (MOH).

EXTERIOR SUPPLY SHALL BE 3/4" SCH 40 COLD AND SHALL BE BURIED TO A MINIMUM DEPTH OF 18". INSTALLATION SHALL BE TOPPED OVER WITH BUILDING SAND & MARKED WITH CAUTION TAPE OR SUITABLE WARNING OF THE PRESENCE OF BURIED UTILITIES PRIOR TO BACK-FILL & FINAL GRADES PUT.

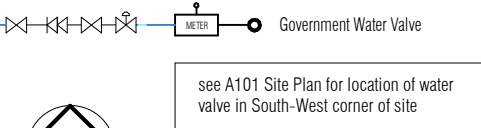
INTERIOR COLD SUPPLY WATER PIPING SHALL BE 1/2" SCH 40 COLD.

INSTALLATION SHALL BE FLUSHED, PRESSURE TESTED & CERTIFIED PASSED PRIOR TO BACK-FILL OPERATIONS.

PASS CERTIFICATE SHALL BE SUBMITTED TO ARCHITECT.

GC SHALL SURVEY FINAL ROUTING OF EXTERNAL PIPE & SUBMIT PLAN TO ARCHITECT FOR CONFIRMATION.

LEGEND	
	ISOLATING VALVE
	NON RETURN VALVE
	DOUBLE CHECK VALVE
	BULK/FLOW METER
	COLD WATER LINE
	HOT WATER LINE
	POINT OF USE TANKLESS ELECTRIC WATER HEATER



1 Plumbing Plan
3/16" = 1'-0"

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MATHLE

Social Housing - 2 Bedroom Unit @ Lot 157
Lookout, St. Johns, Montserrat

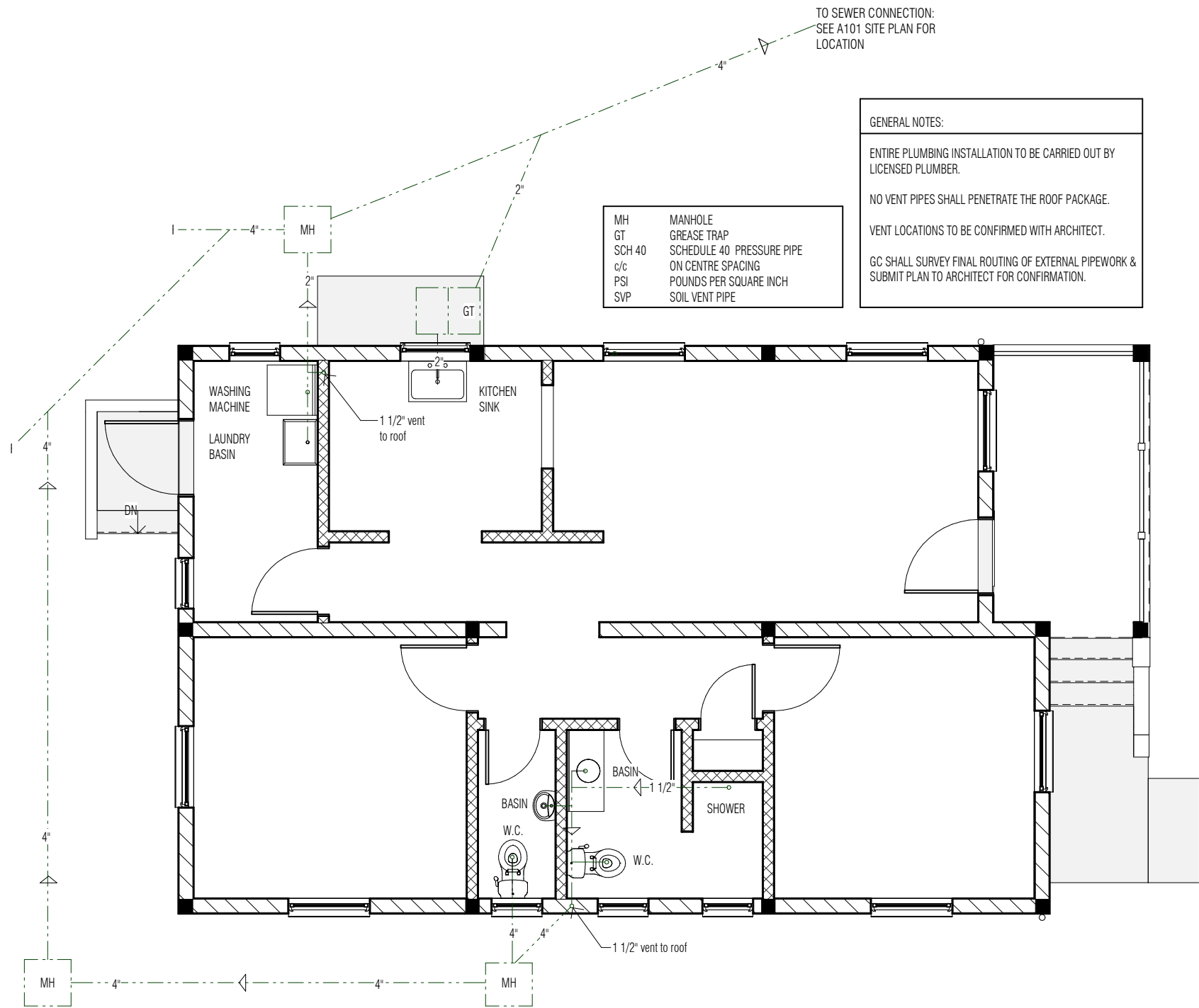
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No.	Description	Date

PLUMBING PLAN

Project number CW-A-MP.33
Date 23-Nov-17
Drawn by Eug
Checked by Eug

A202
Scale 3/16" = 1'-0"



1 Drainage Plan
3/16" = 1'-0"



GENERAL NOTES:

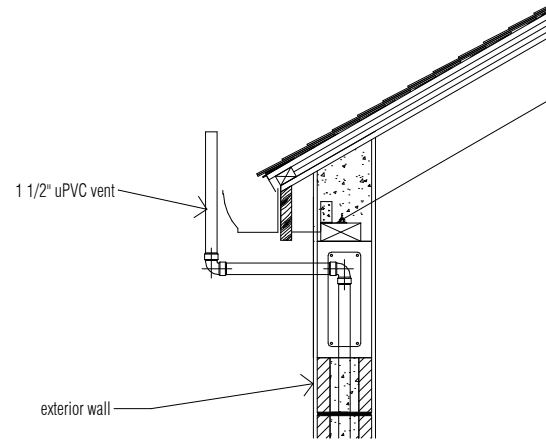
ENTIRE PLUMBING INSTALLATION TO BE CARRIED OUT BY LICENSED PLUMBER.

NO VENT PIPES SHALL PENETRATE THE ROOF PACKAGE.

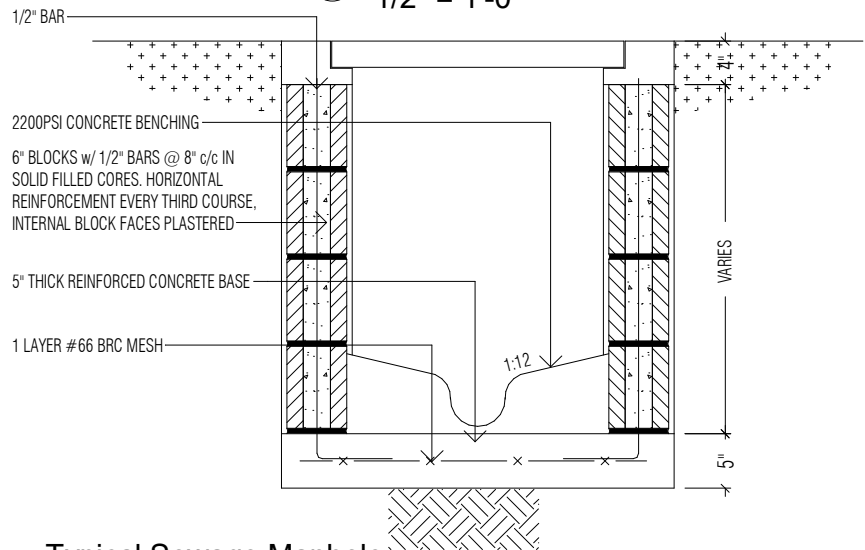
VENT LOCATIONS TO BE CONFIRMED WITH ARCHITECT.

GC SHALL SURVEY FINAL ROUTING OF EXTERNAL PIPEWORK & SUBMIT PLAN TO ARCHITECT FOR CONFIRMATION.

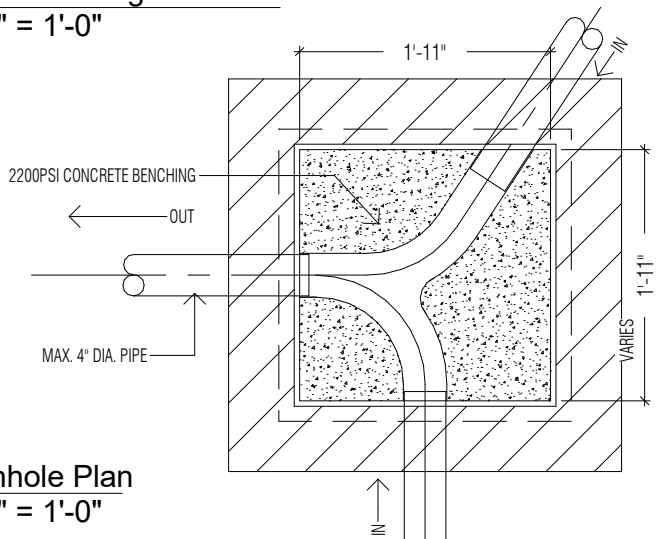
MH MANHOLE
GT GREASE TRAP
SCH 40 SCHEDULE 40 PRESSURE PIPE
c/c ON CENTRE SPACING
PSI POUNDS PER SQUARE INCH
SVP SOIL VENT PIPE



2 Vent
1/2" = 1'-0"



3 Typical Sewage Manhole
3/8" = 1'-0"



4 Manhole Plan
3/8" = 1'-0"

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Lookout, St. Johns, Montserrat

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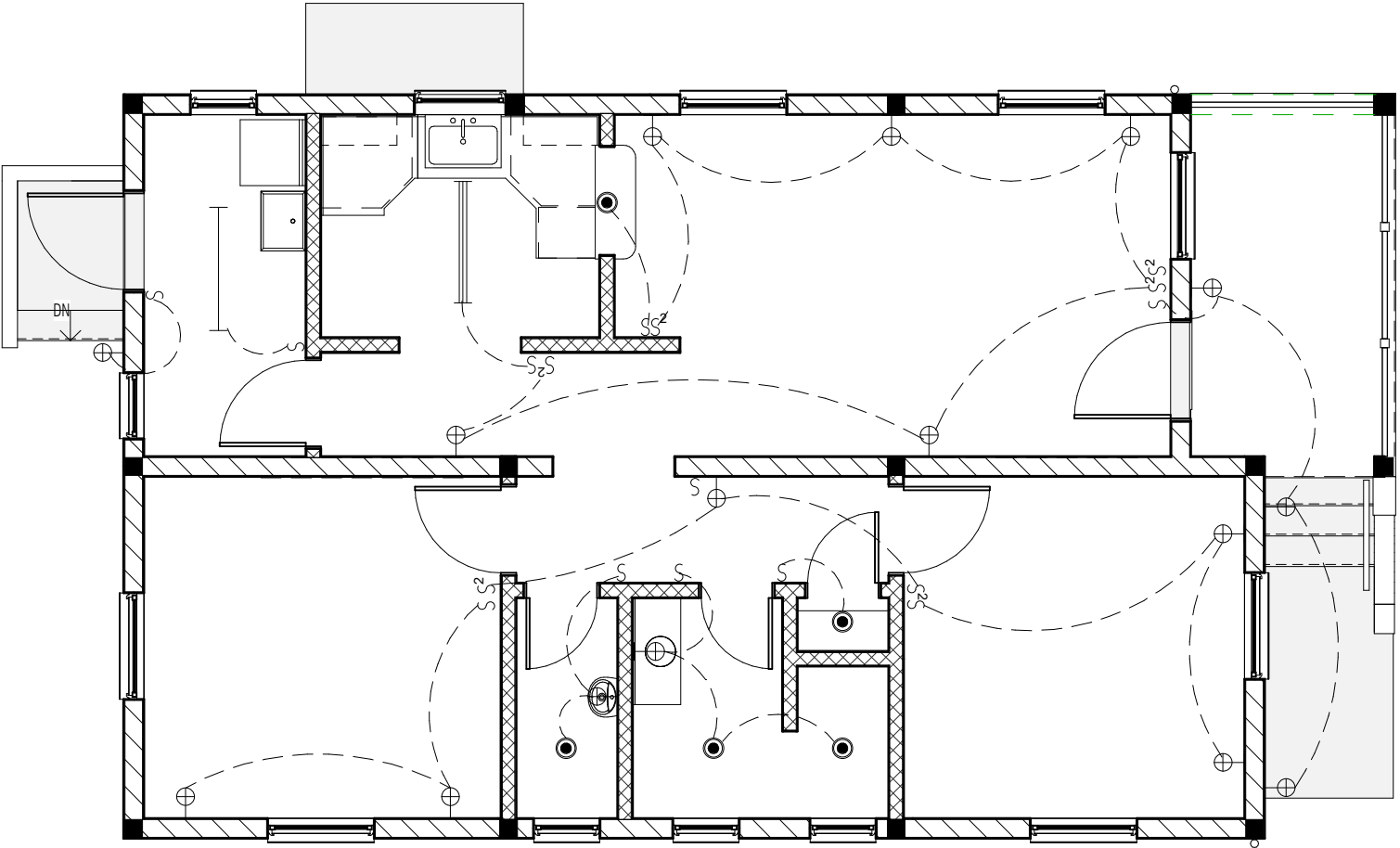
No.	Description	Date

Drainage Plan

Project number CW-A-MP.33
Date 23-Nov-17
Drawn by Eug
Checked by Eug

A203

Scale As indicated



LEGEND	
S	SINGLE POLE SWITCH
S ²	3-WAY SWITCH
⊕	WALL MOUNTED LIGHT FIXTURE
⊕ _{wp}	WALL MOUNTED LIGHT FIXTURE (WEATHERED)
⊙	RECESSED LIGHT FIXTURE WATER VALVE
—	4'-0" FLUORESCENT/LED LINEAR FIXTURE (SINGLE TUBE)
≡	4'-0" FLUORESCENT/LED LINEAR FIXTURE (DOUBLE TUBE)

1 Electrical Plan Lighting
3/16" = 1'-0"



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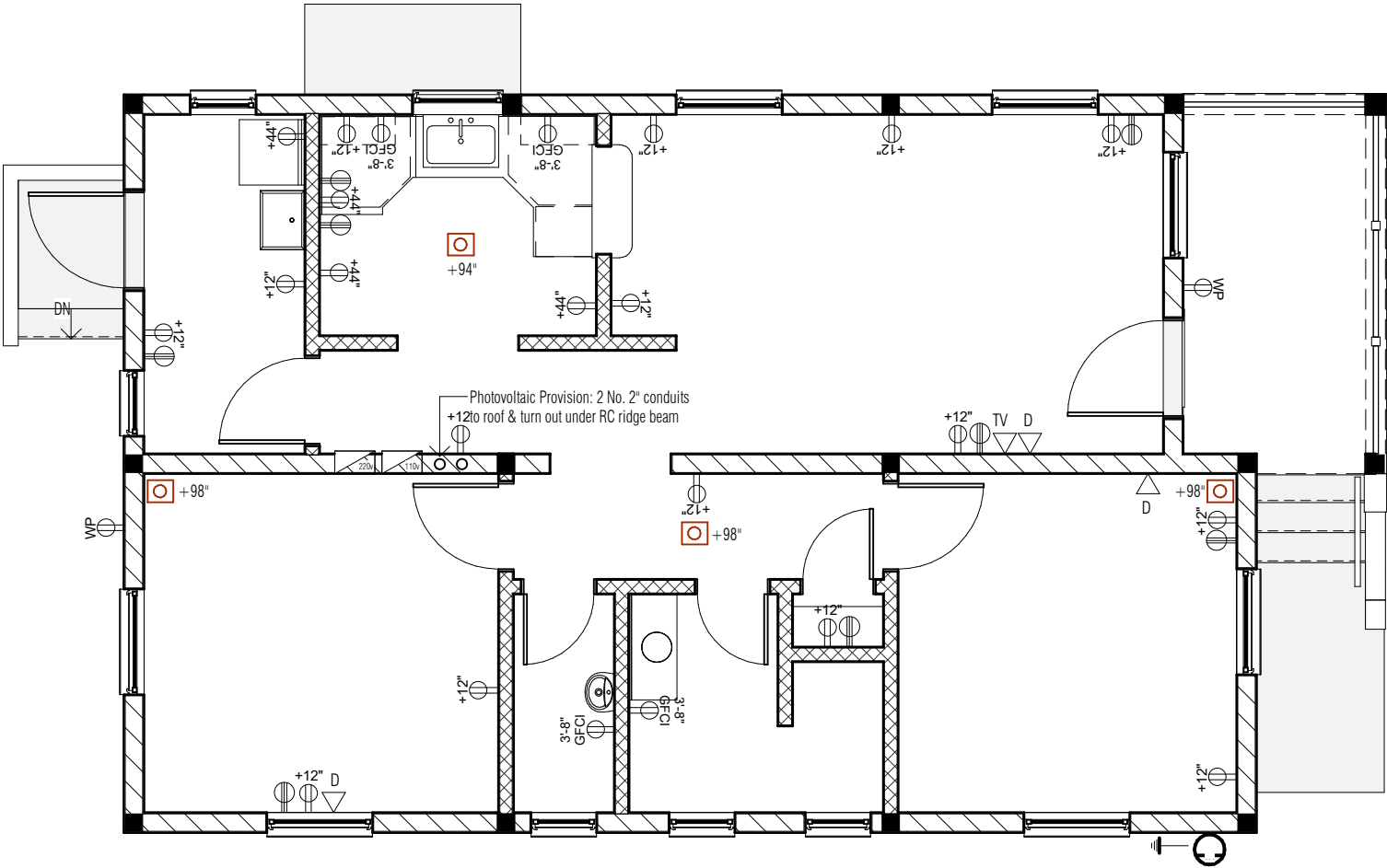
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No.	Description	Date
01		

ELECTRICAL LAYOUT - LIGHTING

Project number	CW-A-MP.33	A204
Date	23-Nov-17	
Drawn by	Eug	
Checked by	Eug	Scale 3/16" = 1'-0"

LEGEND	
	DUPLEX RECEPTACLE (HEIGHT AFF SPECIFIED)
	DUPLEX RECEPTACLE (HEIGHT AFF SPECIFIED)
	DUPLEX RECEPTACLE (HEIGHT AFF SPECIFIED)
	DATA / TELEPHONE JACK
	CABLE TELEVISION JACK
	220v DISTRIBUTION PANEL
	110v DISTRIBUTION PANEL
	EARTHING - 6'-0" x 1/2" Dia. COPPER ROD
	MONLEC METER AND FUSE
	HARDWIRED SMOKE ALARM w/ CO2 DETECTION



PANEL A CIRCUIT SCHEDULE (Social Housing - 2 Bed Unit)						
TYPE: SPN (TYPE A) 8 WAYS SINGLE PHASE			DESCRIPTION: 240V POWER AND LIGHTING LOCATION: 2 Bed unit SUPPLY FROM: ELECTRICITY METER			
ISOLATOR: 100A DP VOLTAGE: 240 VOLTS AC			SUPPLY CALE LENGTH & SIZE = 16mm 2			
NO. OF CIRCUIT	DESCRIPTION	NO. OF POINTS	MCB RTG. (A)	CABLE SIZE mm 2	EST. LENGTH (M)	EST. LOAD (A)
1	LIGHTS: 2 Bed unit	8	5	1.5		10 Amps
2	LIGHTS: 2 Bed unit	8	5	1.5		10 Amps
3	LIGHTS: 2 Bed unit	7	5	1.5		10 Amps
4	OUTLETS: 220 V Outlets	4	20	2.5		16 Amps
5	OUTLETS: 220 V Outlets	3	20	2.5		16 Amps

PANEL B CIRCUIT SCHEDULE (Social Housing - 2 Bed Unit))						
TYPE: SPN (TYPE A) 8 WAYS SINGLE PHASE			DESCRIPTION: 110V POWER LOCATION: 2 Bed unit SUPPLY FROM: Panel A via 5kva transformer			
ISOLATOR: 100A DP VOLTAGE: 110 VOLTS AC			SUPPLY CALE LENGTH & SIZE = 16mm 2			
NO. OF CIRCUIT	DESCRIPTION	NO. OF POINTS	MCB RTG. (A)	CABLE SIZE mm 2	EST. LENGTH (M)	EST. LOAD (A)
1	OUTLETS: 2 Bed unit	7	20	2.5		20 Amps
2	OUTLETS: 2 Bed unit	7	20	2.5		20 Amps
3	OUTLETS: 2 Bed unit	7	20	2.5		20 Amps

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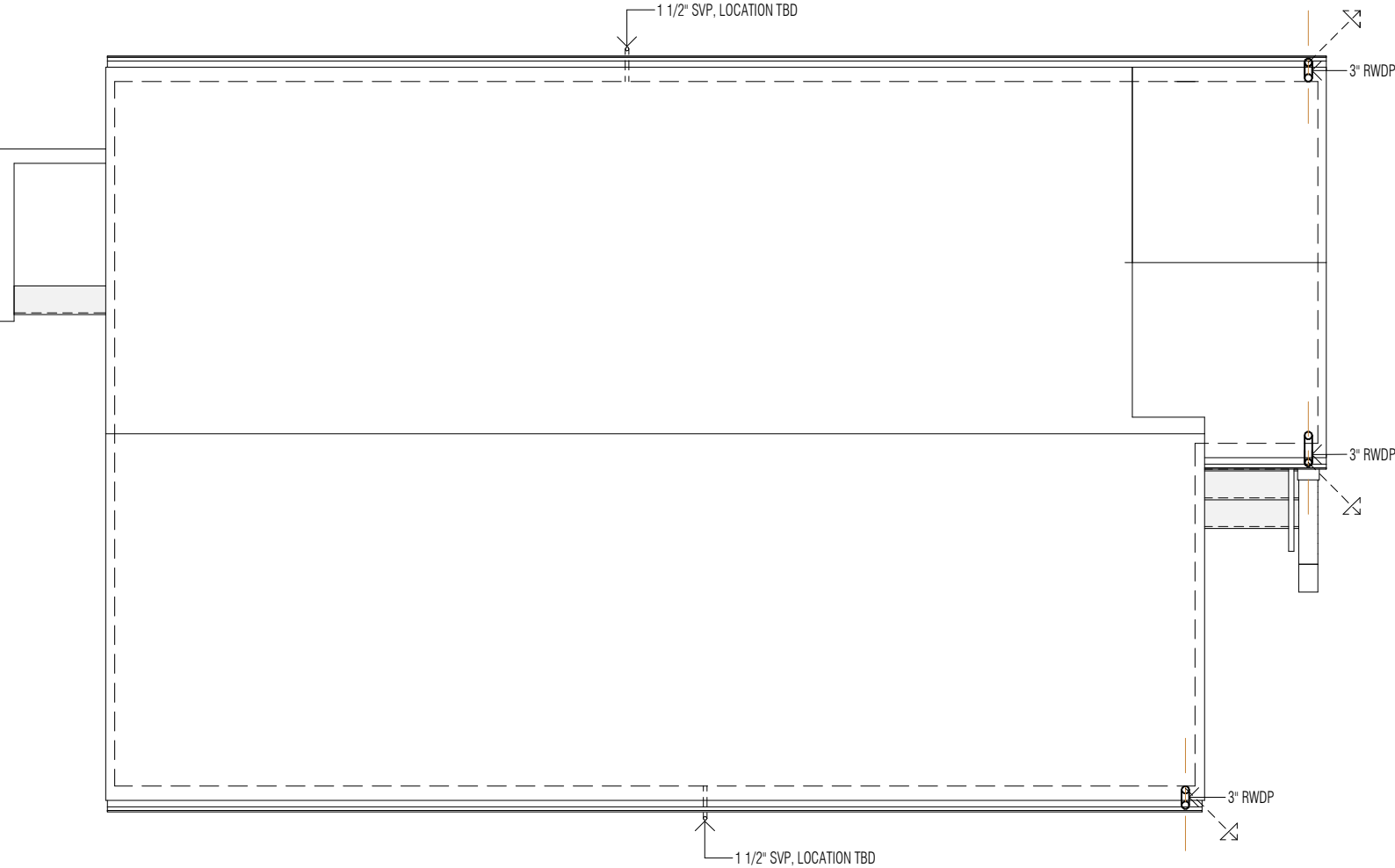
Social Housing - 2 Bedroom Unit @ Lot 157
Lookout, St. Johns, Montserrat

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No.	Description	Date
01		

ELECTRICAL LAYOUT - POWER

Project number	CW-A-MP.33	A205
Date	23-Nov-17	
Drawn by	Eug	
Checked by	Eug	Scale 3/16" = 1'-0"



1 Roof Plan
3/16" = 1'-0"



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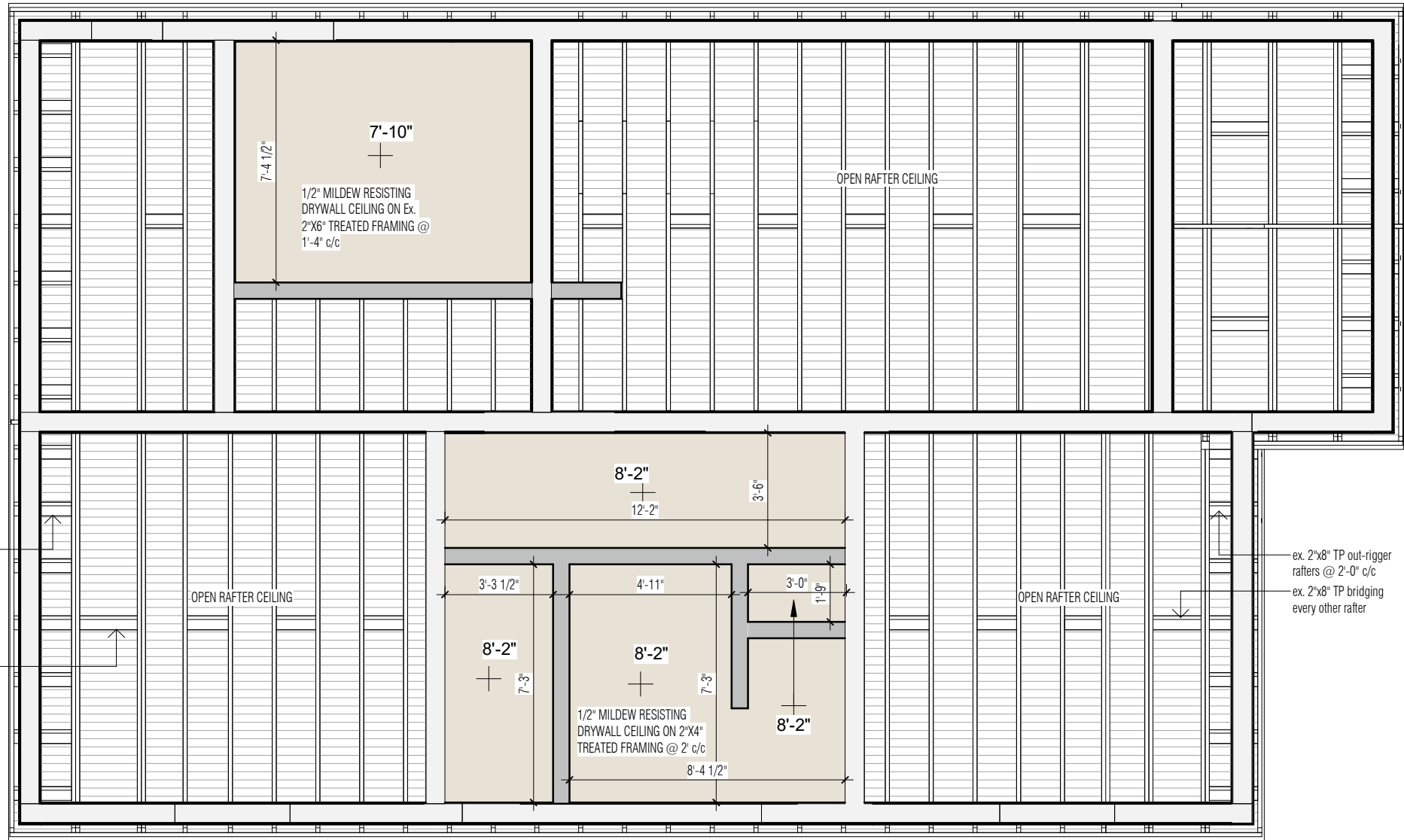
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Lookout, St. Johns, Montserrat

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No.	Description	Date
01		

ROOF PLAN

Project number	CW-A-MP.33	A206
Date	23-Nov-17	
Drawn by	Author	
Checked by	Checker	Scale 3/16" = 1'-0"



LEGEND	
	WALLS EXTENDING TO ROOF DIAPHRAGM
	WALLS TO 8'-10" ABOVE FINISH FLOOR
	T-111 PLWOOD

1 Reflected Ceiling Plan
1/4" = 1'-0"



PWD

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No.	Description	Date
01		

Reflected Ceiling Plan

Project number CW-A-MP.33
Date 23-Nov-17
Drawn by Eug
Checked by Eug

A207
Scale 1/4" = 1'-0"

Revisions

Rev	Date	Description

Date	Description
------	-------------

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2. The Contractor is to check and verify all levels, datum and dimensions and report any discrepancies or omissions to the Architect prior to construction.

3. Drawings are not to be scaled

4. The Architect is not responsible for dimensions of the site plan unless they are taken directly from a registered boundary survey carried out by a Licensed Land Surveyor.

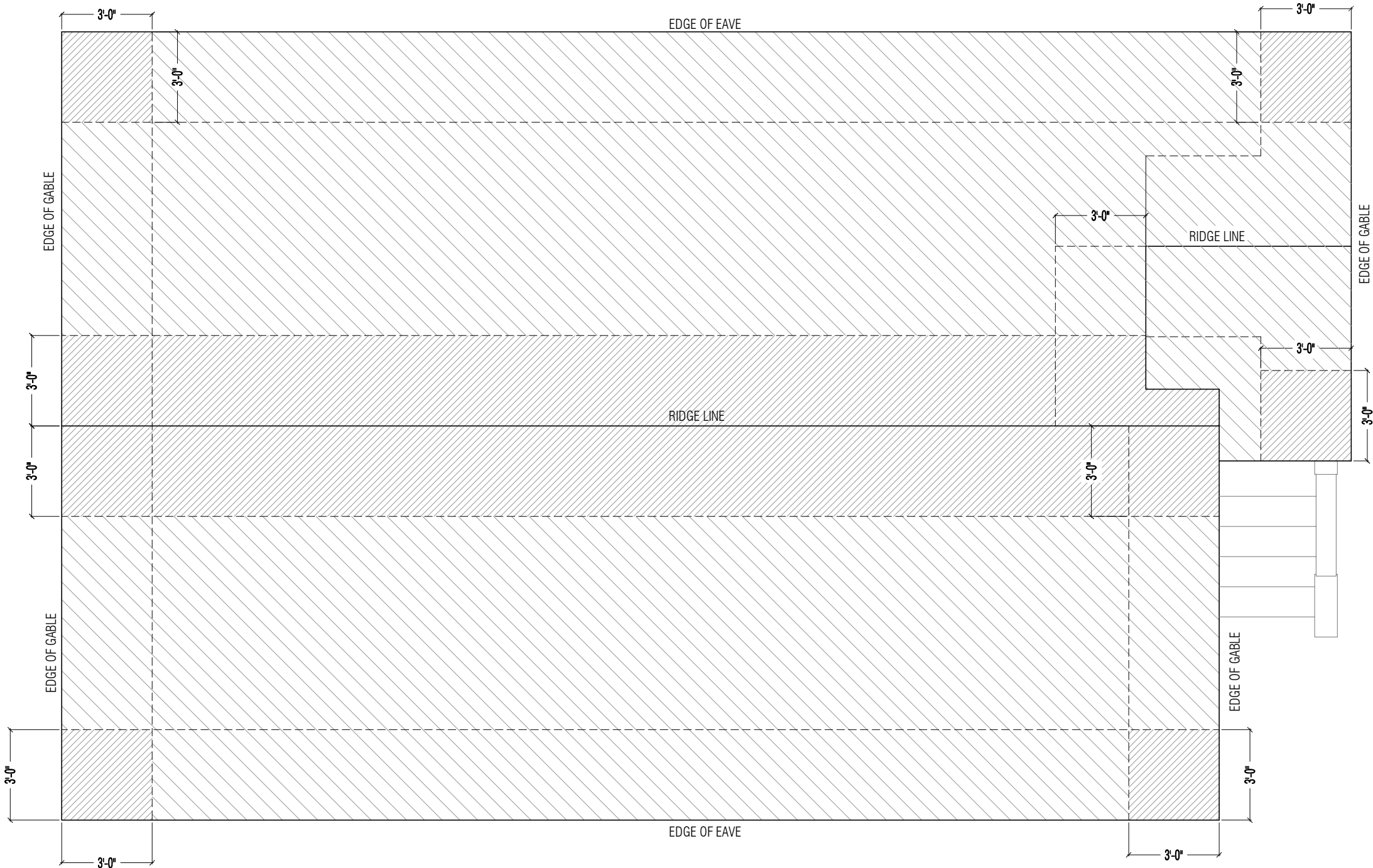
5. This drawing is to be read in conjunction with Structural, Mechanical, Electrical and/or other consultant's documentation that is applicable to the project.

PROJECT
EMERGENCY SOCIAL
HOUSING 2-BED UNIT
LOOKOUT

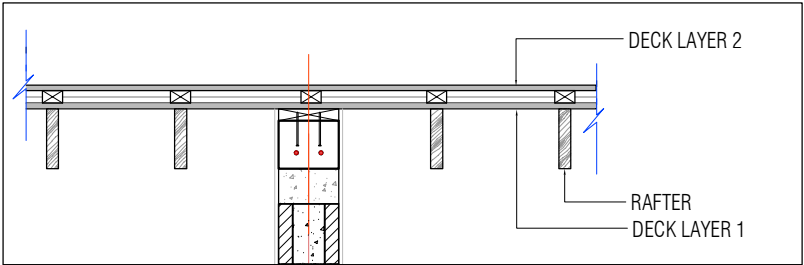
DRAWING
ROOF NAILING SCHEDULE

NOT FOR CONSTRUCTION

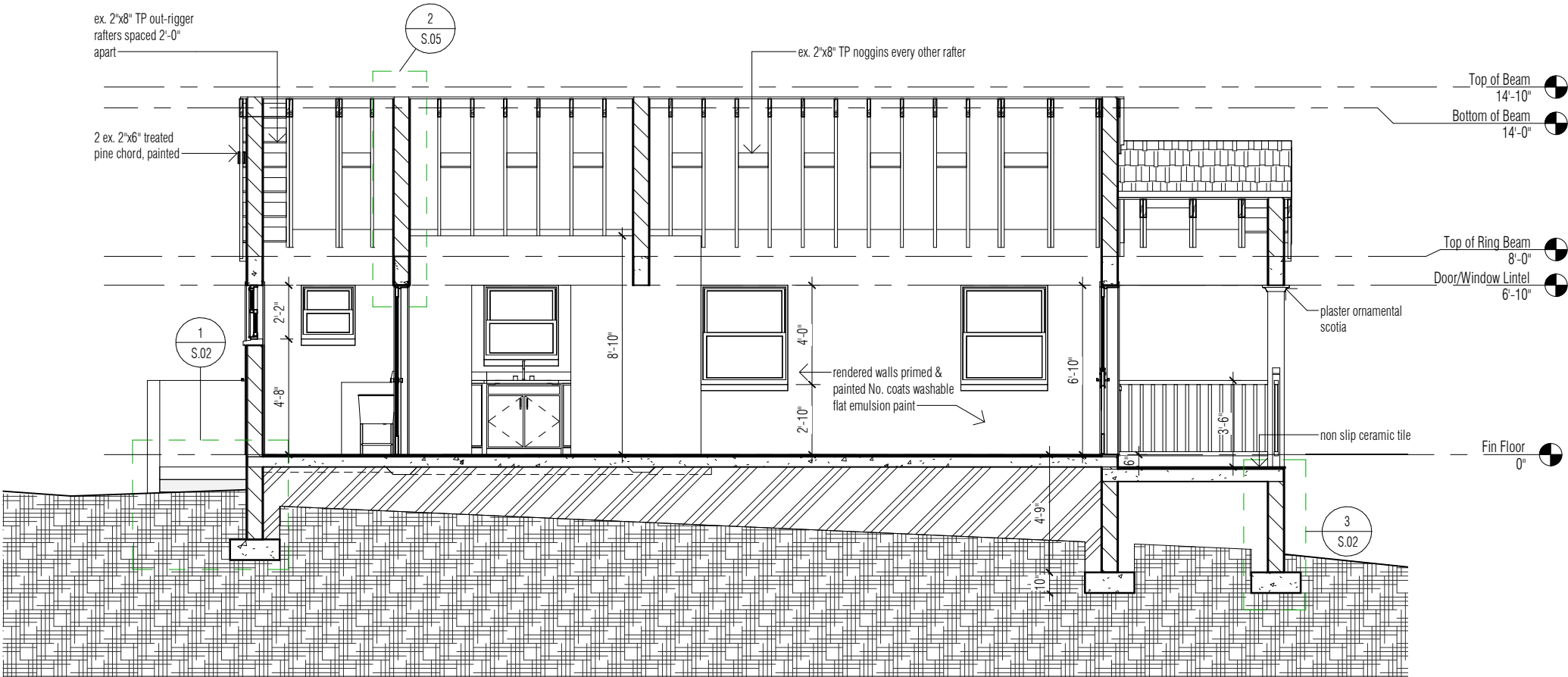
PROJECT NO. CW-A-MP.0033	DRAWING NO. A208
DATE November 2017	REV:
SCALE As shown	
DRAWN BY Eug	
CHECKED BY Eug	



NAIL SPECIFICATION & SIZING:
DECK LAYER 1: 16d (3.5") GALVANIZED
DECK LAYER 2: 40d (5") GALVANIZED



- NAIL SPACING @ 6" C/C (SANDWICH ROOF DIAPHRAGM TO RAFTERS, TIMBER NAILERS ON INCLINED BEAMS)
- NAIL SPACING @ 1'-0" C/C (SANDWICH ROOF DIAPHRAGM TO RAFTERS, TIMBER NAILERS ON INCLINED BEAMS)



1 Section 1-1
3/16" = 1'-0"

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MATHLE

Social Housing - 2 Bedroom Unit @ Lot 157
Lookout, St. Johns, Montserrat

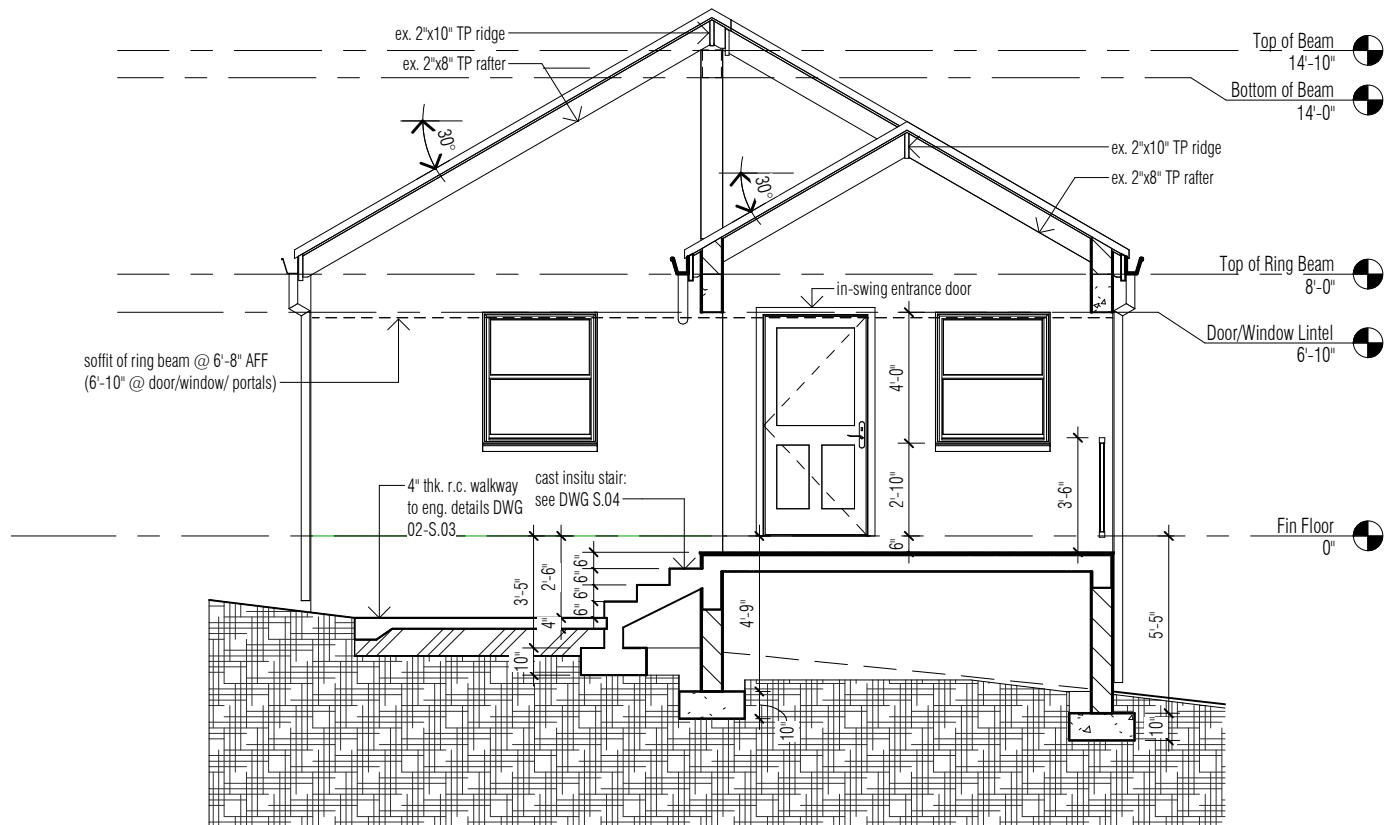
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No.	Description	Date
01		

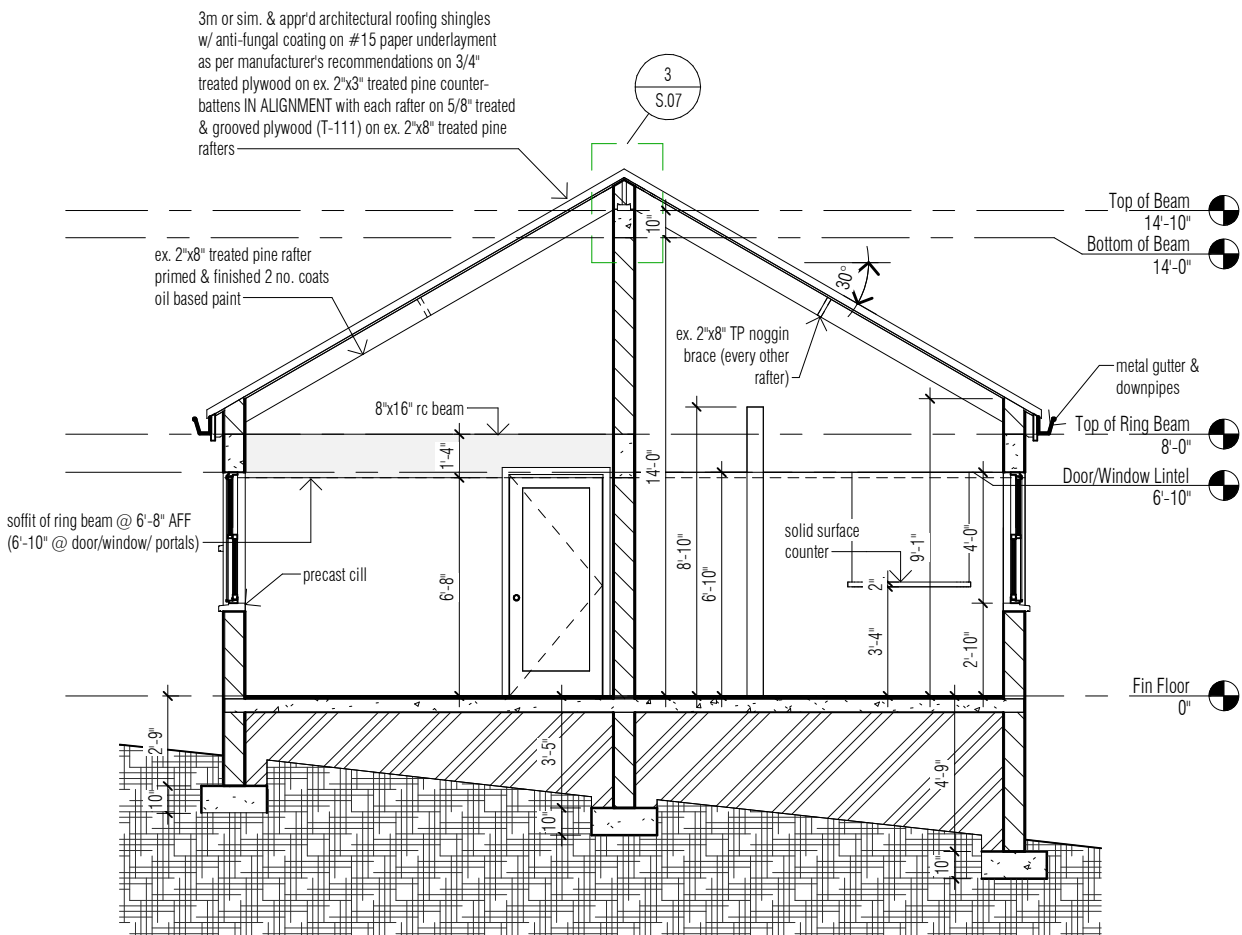
SECTION 1-1

Project number CW-A-MP.33
Date 23-Nov-17
Drawn by Eug
Checked by Eug

A301
Scale 3/16" = 1'-0"



1 Section 1-1
3/16" = 1'-0"



2 Section 2-2
3/16" = 1'-0"

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Social Housing - 2 Bedroom Unit @ Lot 157
Lookout, St. Johns, Montserrat

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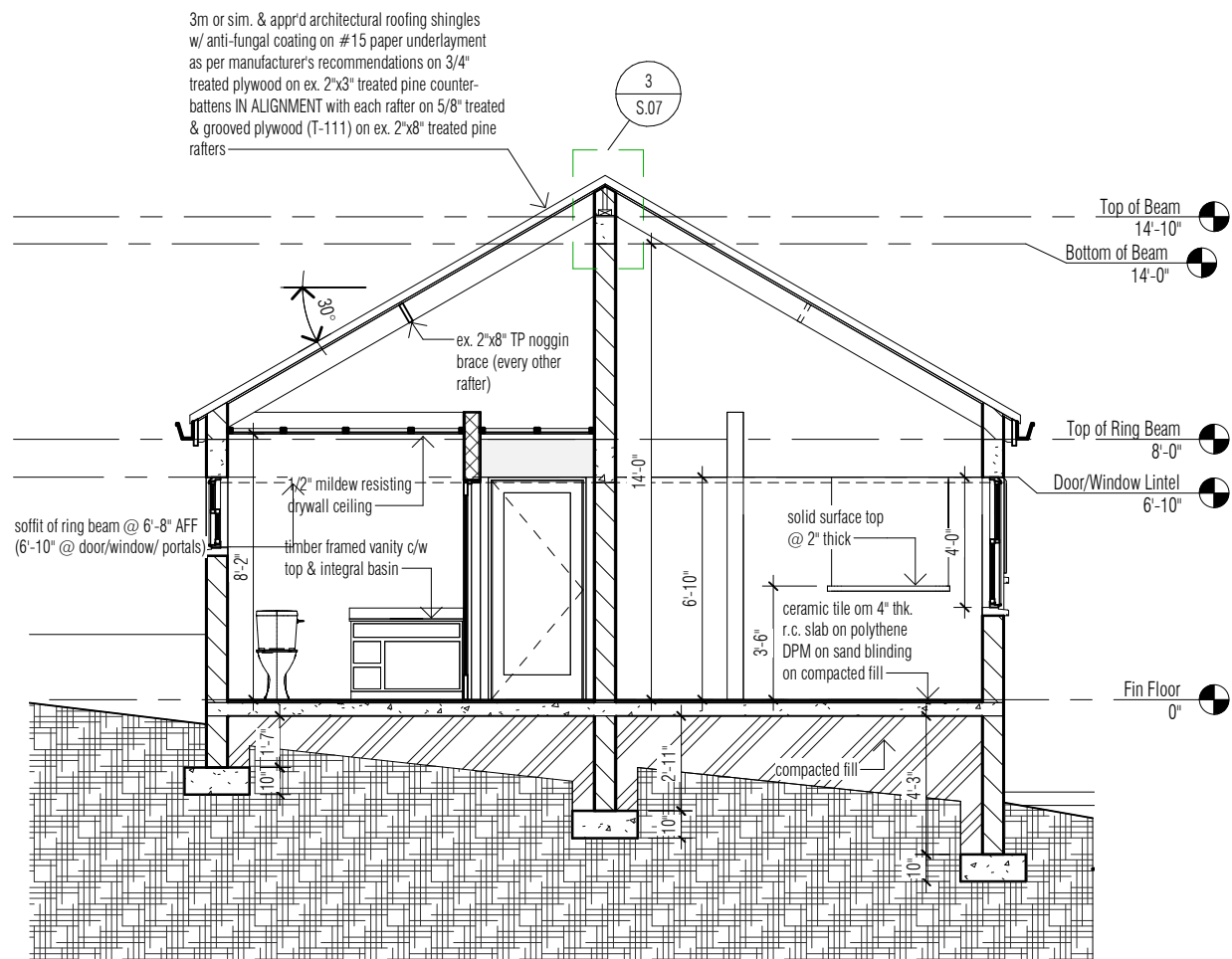
No.	Description	Date
01		

SECTIONS 1-1 & 2-2

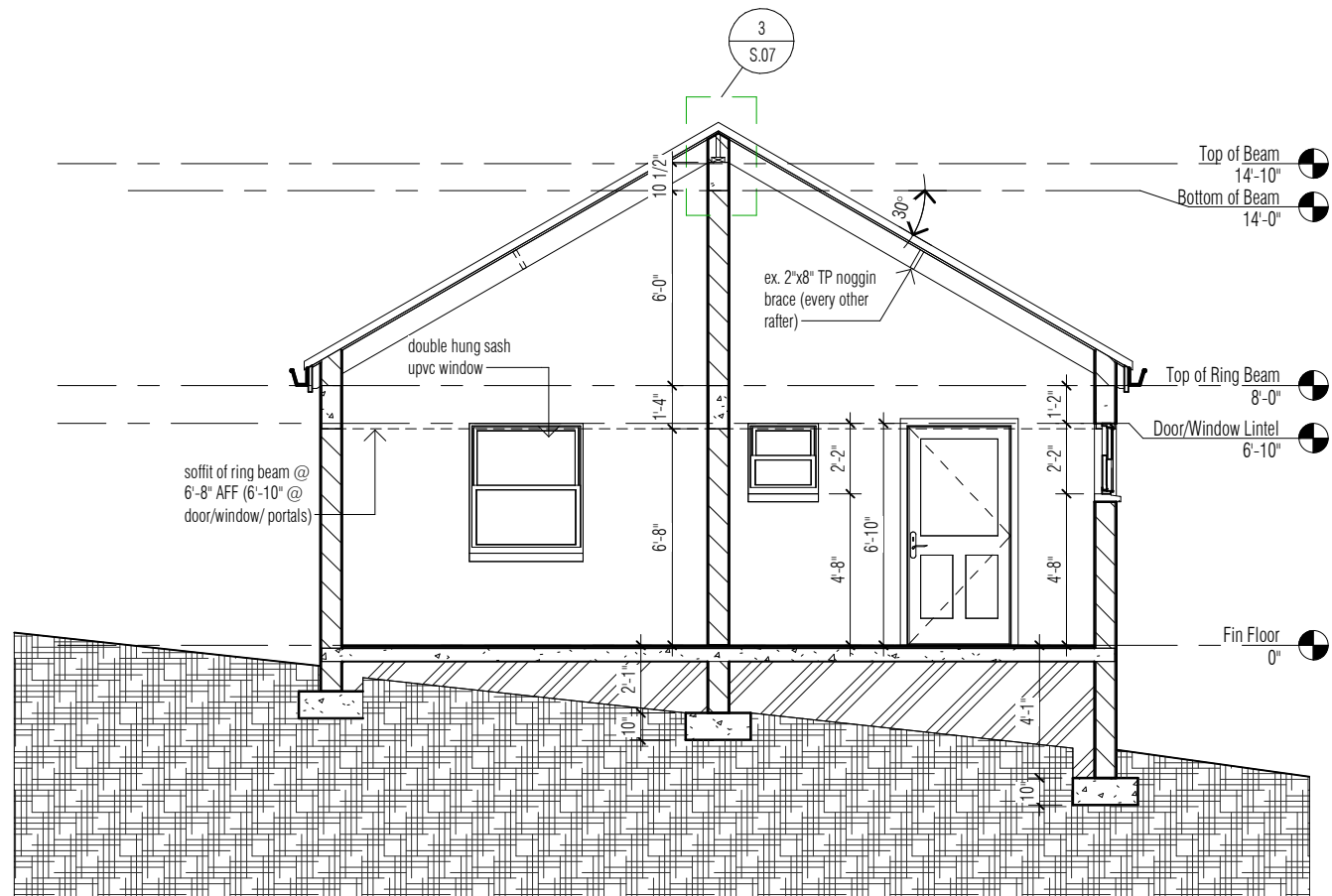
Project number CW-A-MP.33
Date 23-Nov-17
Drawn by Eug
Checked by Eug

A302

Scale 3/16" = 1'-0"



① Section 1-1
3/16" = 1'-0"



② Section 2-2
3/16" = 1'-0"

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Ministry of Communications & Works
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MATHLE

Social Housing - 2 Bedroom Unit @ Lot 157
Lookout, St. Johns, Montserrat

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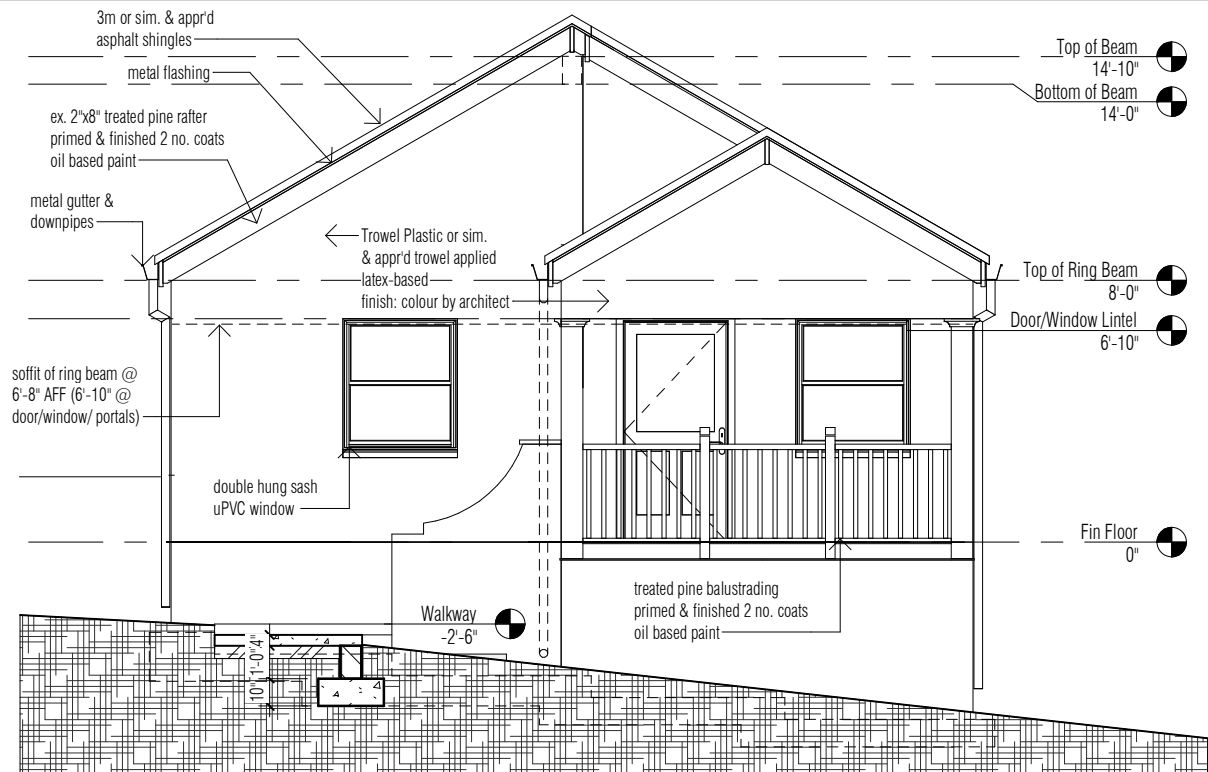
No.	Description	Date
01		

SECTIONS 1-1 & 2-2

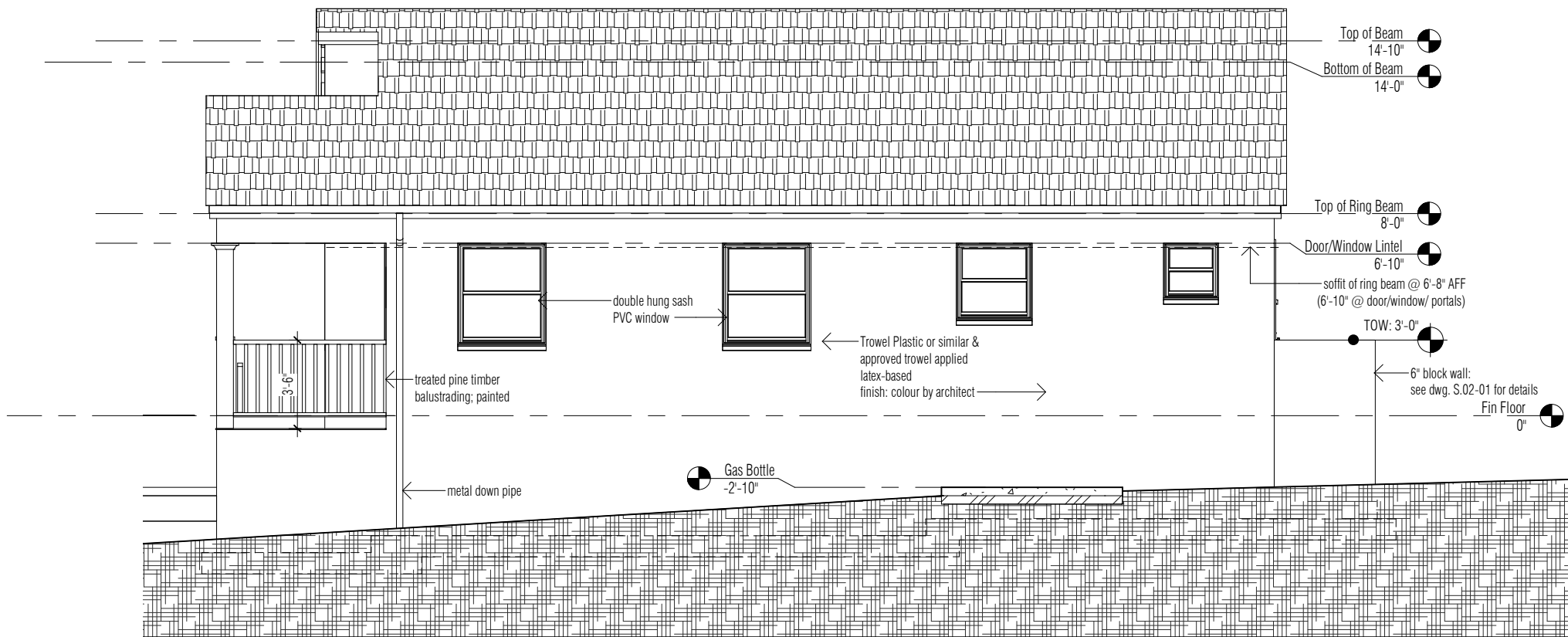
Project number CW-A-MP.33
Date 23-Nov-17
Drawn by Author
Checked by Eug

A303

Scale 3/16" = 1'-0"



1 East
3/16" = 1'-0"



2 North
3/16" = 1'-0"

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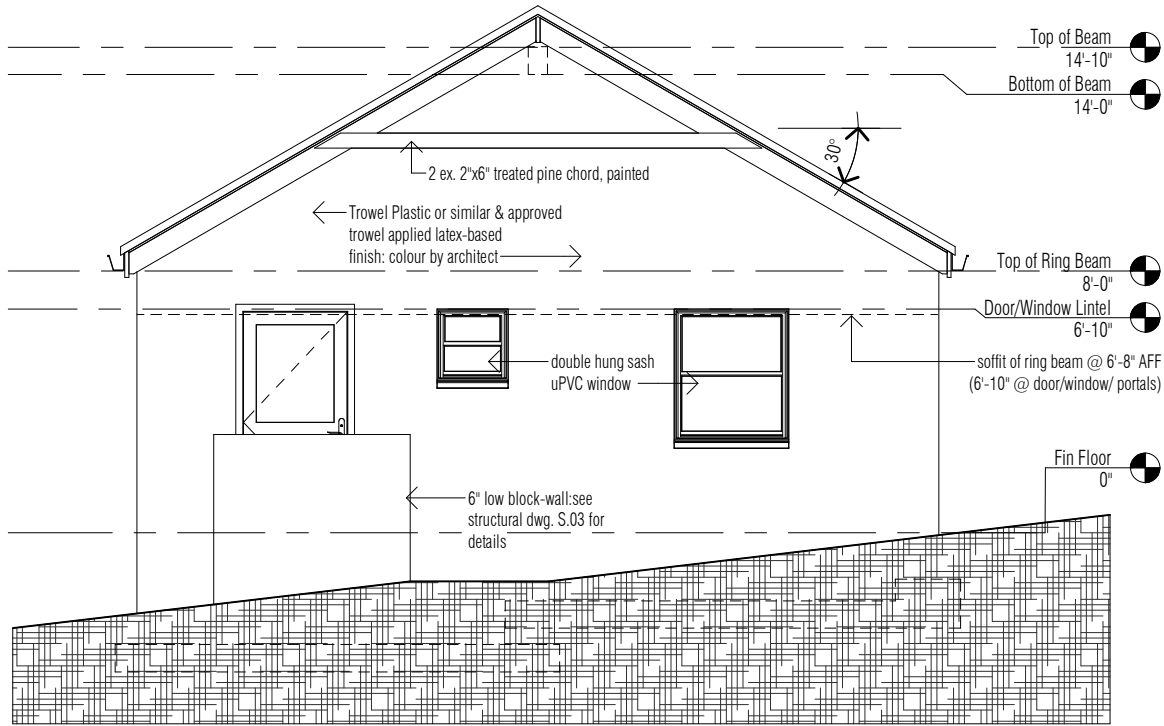
MATHLE
Social Housing - 2 Bedroom Unit @ Lot 157
Lookout, St. Johns, Montserrat

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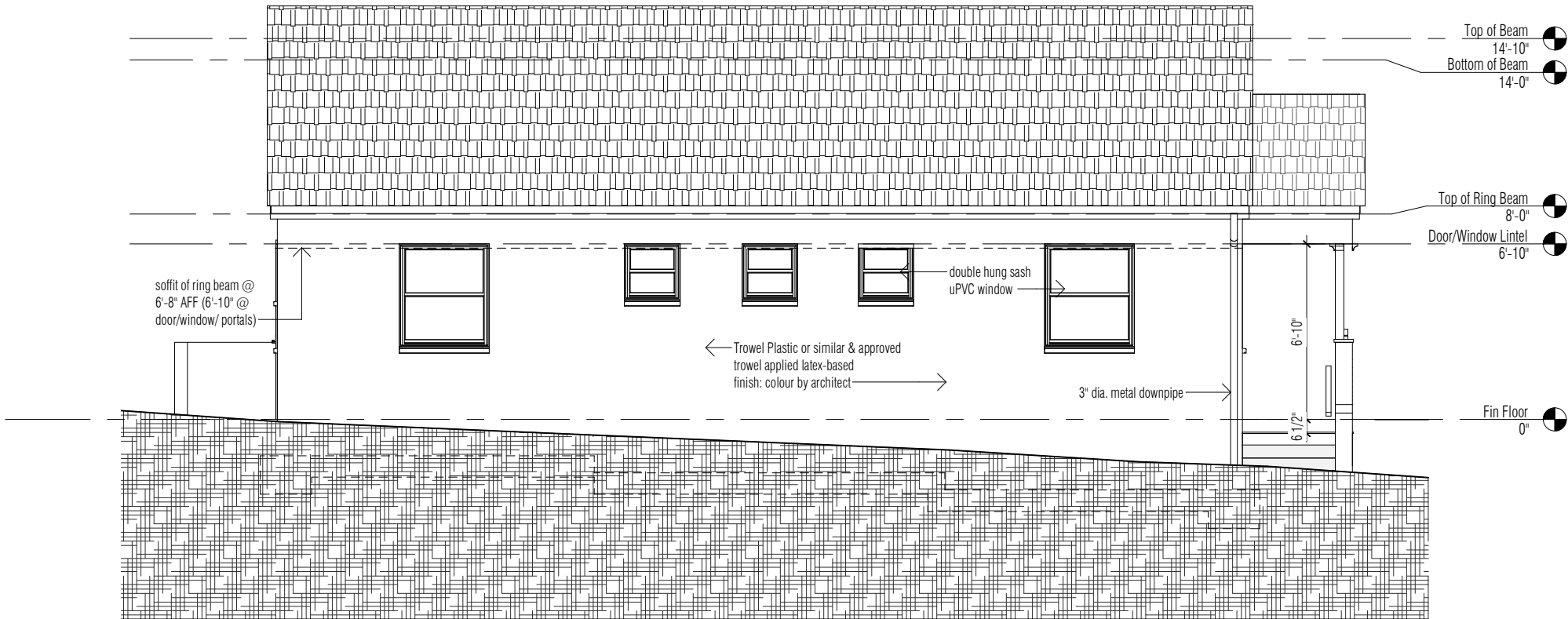
No.	Description	Date

ELEVATIONS NORTH & EAST

Project number	CW-A-MP.33	A401
Date	23-Nov-17	
Drawn by	Eug	
Checked by	Eug	Scale 3/16" = 1'-0"



1 West
3/16" = 1'-0"



2 South
3/16" = 1'-0"

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MATHLE

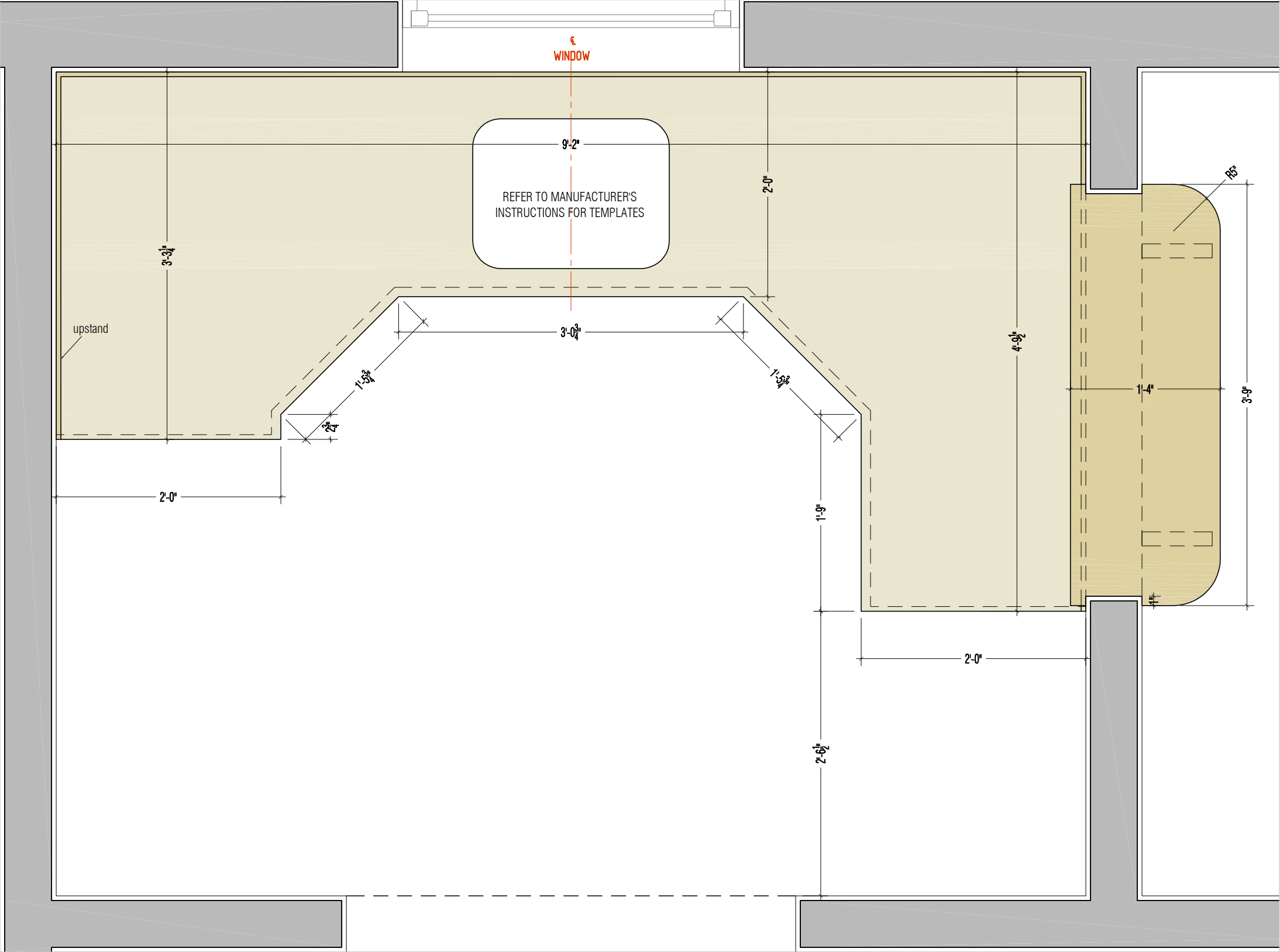
Social Housing - 2 Bedroom Unit @ Lot 157
Lookout, St. Johns, Montserrat

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No.	Description	Date

ELEVATIONS SOUTH & WEST

Project number	CW-A-MP.33	A402
Date	23-Nov-17	
Drawn by	Eug	
Checked by	Eug	Scale 3/16" = 1'-0"



01 | Counter Plan

A-501 | scale 1" = 1'-0"

Revisions

Rev	Date	Description
1	15/11/17	Initial

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PROJECT
EMERGENCY SOCIAL
HOUSING 2-BED UNIT
- VARIOUS LOCATIONS

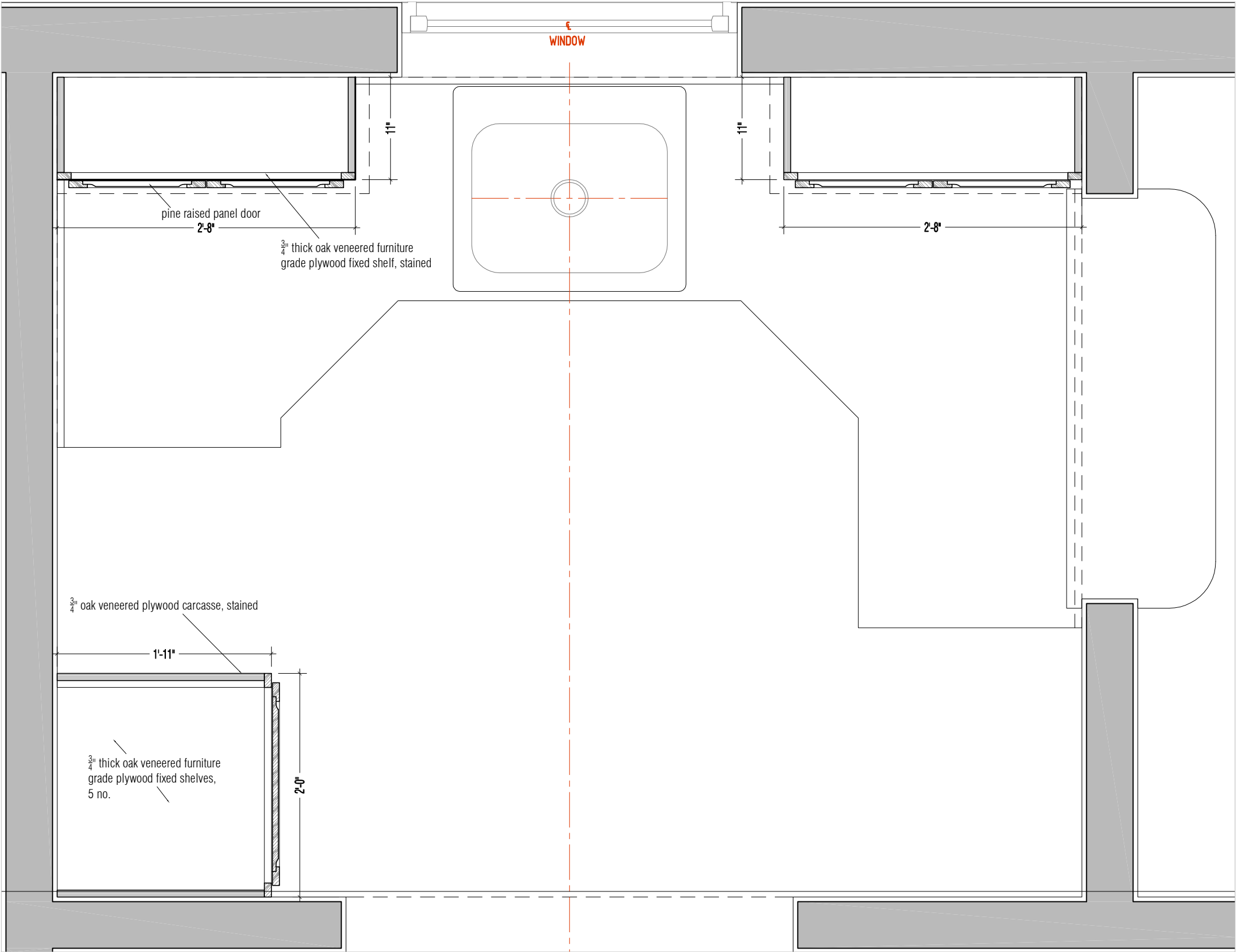
DRAWING
KITCHEN
COUNTER TEMPLATE

NOT FOR CONSTRUCTIC

PROJECT NO.
CW-A-MP.0033
DATE
15/11/17
SCALE
1" = 1'-0"
DRAWN BY
Eug
CHECKED BY
Eug

DRAWING NO.
A-501

REV:



01 Upper Cabinet Framing
A-502 scale 1" : 1'-0"

Revisions

Date	Description

General Notes

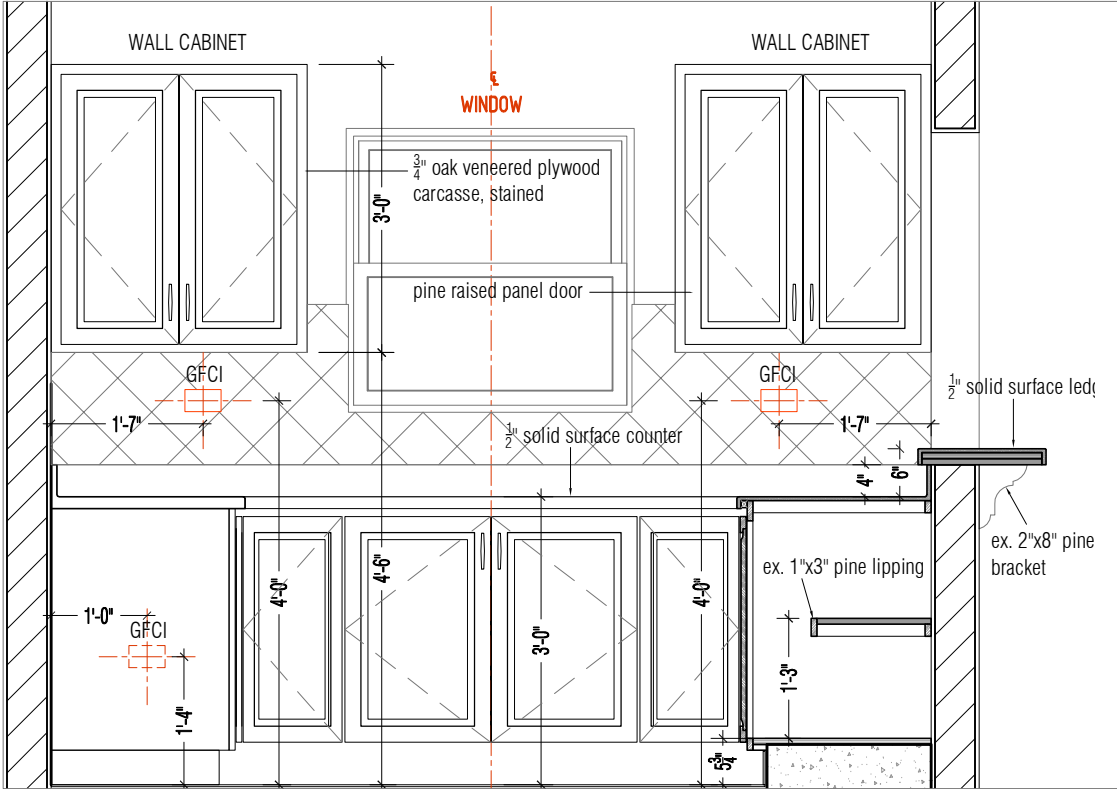
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PROJECT
EMERGENCY SOCIAL
HOUSING 2-BED UNIT
- VARIOUS LOCATIONS

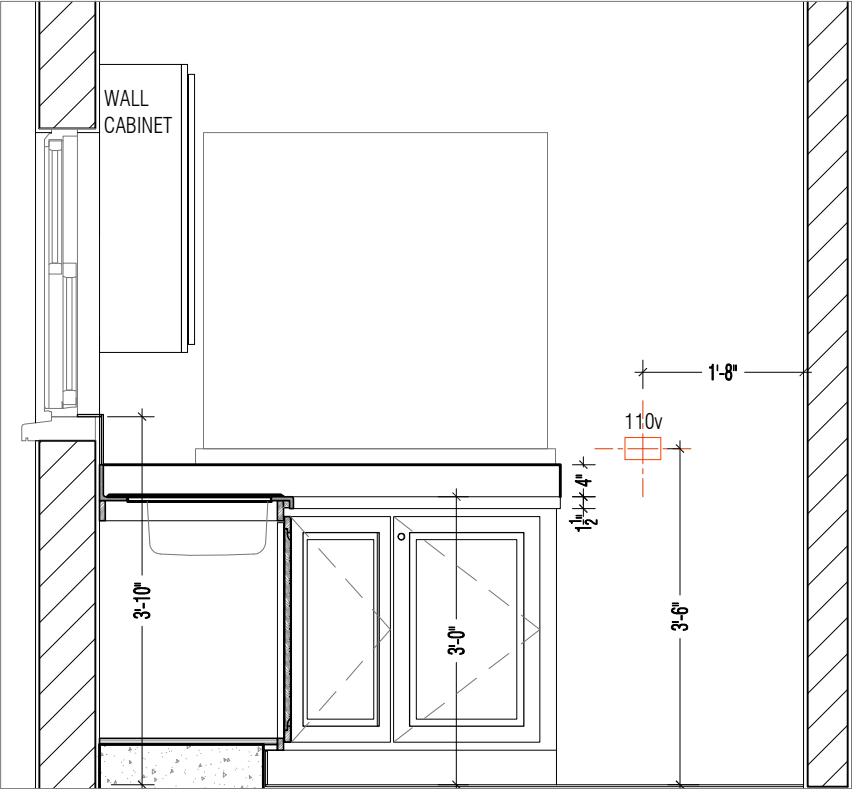
DRAWING
KITCHEN
UPPER CABINETS

NOT FOR CONSTRUCTION

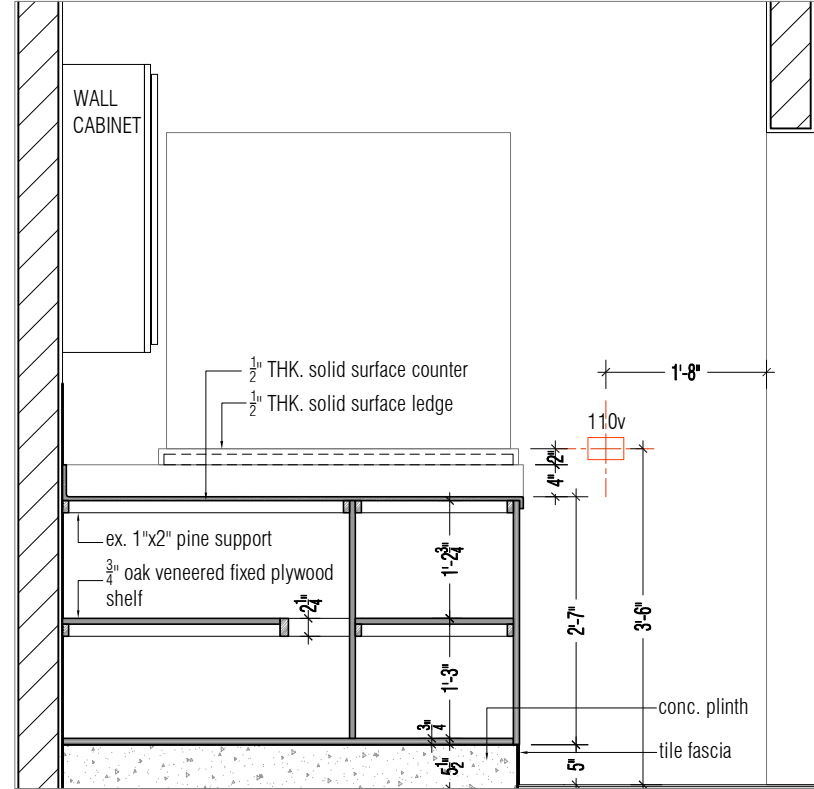
PROJECT NO. CW-A-MP.0033	DRAWING NO. A-502
DATE 15/11/17	REV:
SCALE 1" : 1'-0"	
DRAWN BY Eug	
CHECKED BY Eug	



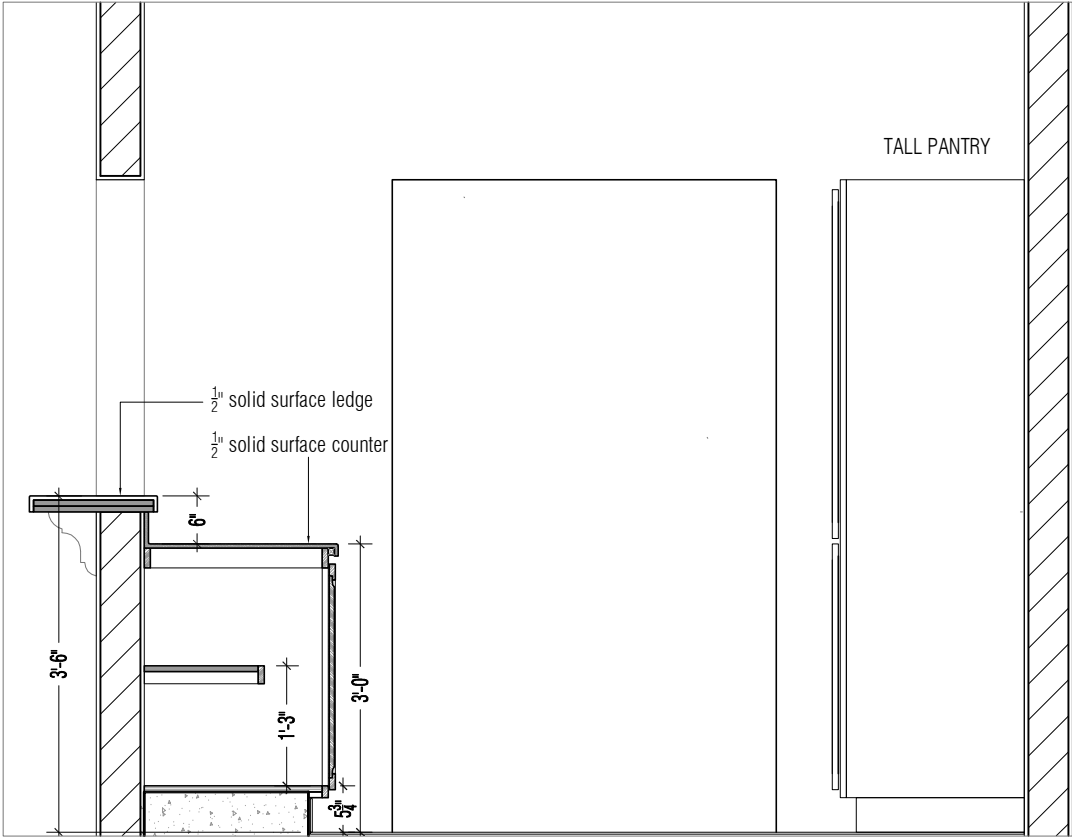
01 | ELEVATION 01
A-503 | scale 1/2" : 1'-0"



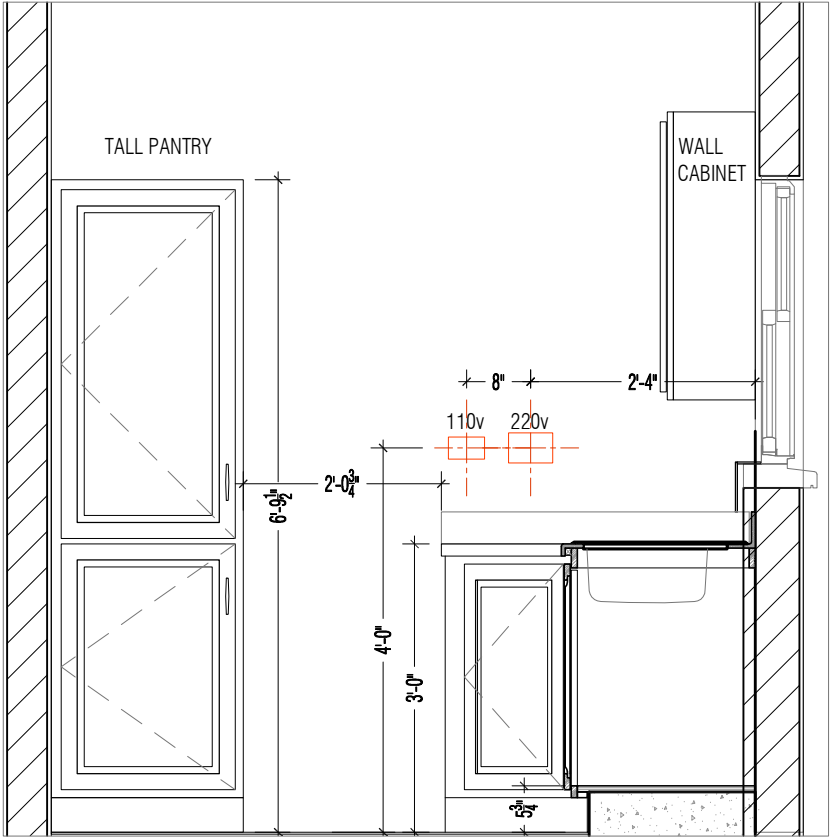
02 | ELEVATION 02
A-503 | scale 1/2" : 1'-0"



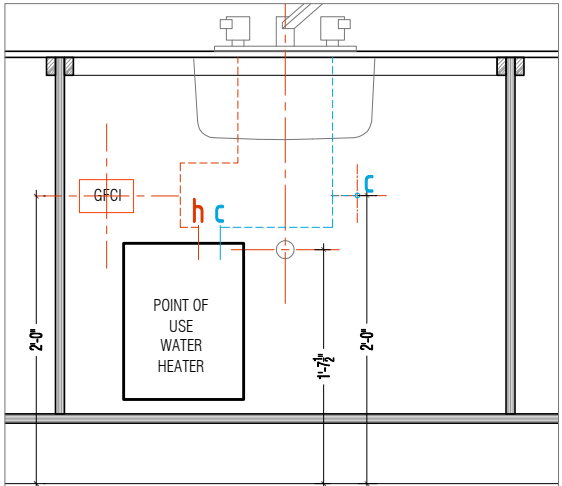
03 | SECTION 01
A-503 | scale 1/2" : 1'-0"



04 | ELEVATION 03
A-503 | scale 1/2" : 1'-0"



05 | ELEVATION 04
A-503 | scale 1/2" : 1'-0"



06 | WATER HEATER
A-503 | scale 3/4" : 1'-0"

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Revisions

Date	Description
15/11/17	

General Notes

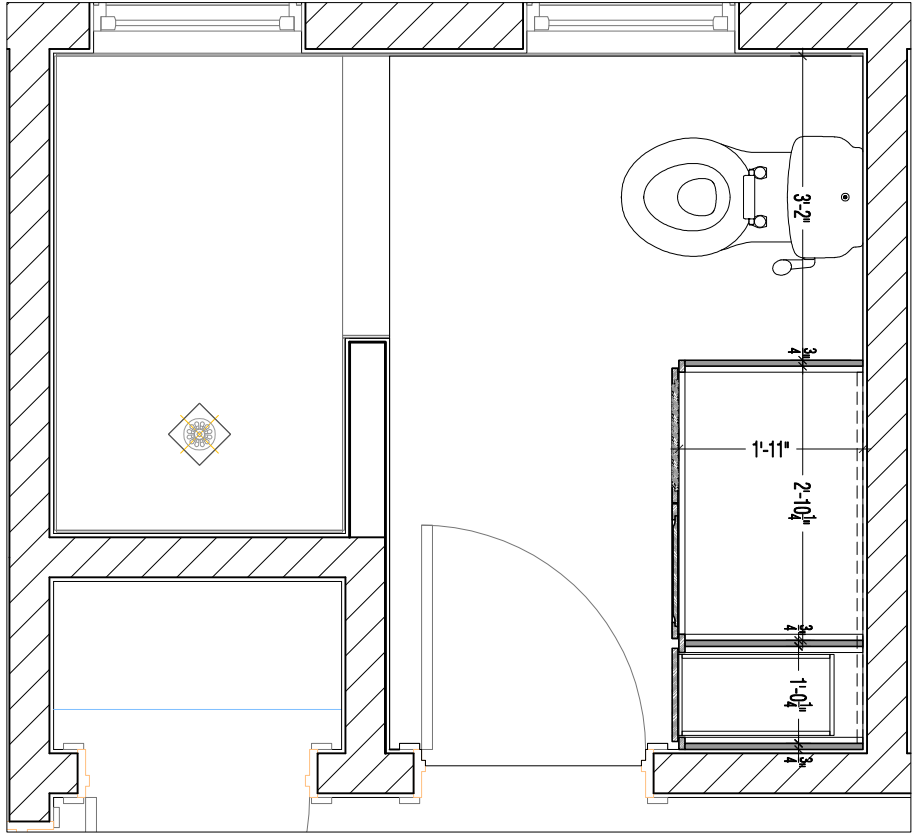
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PROJECT
EMERGENCY SOCIAL
HOUSING 2-BED UNIT
- VARIOUS LOCATIONS

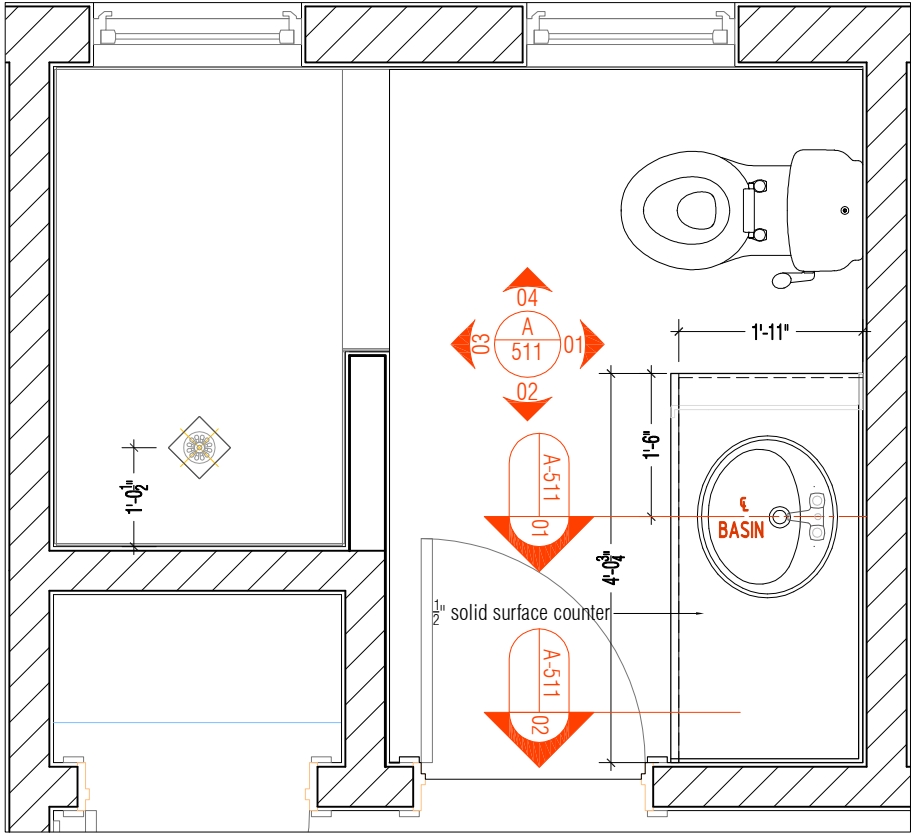
DRAWING
ELEVATIONS

NOT FOR CONSTRUCTION

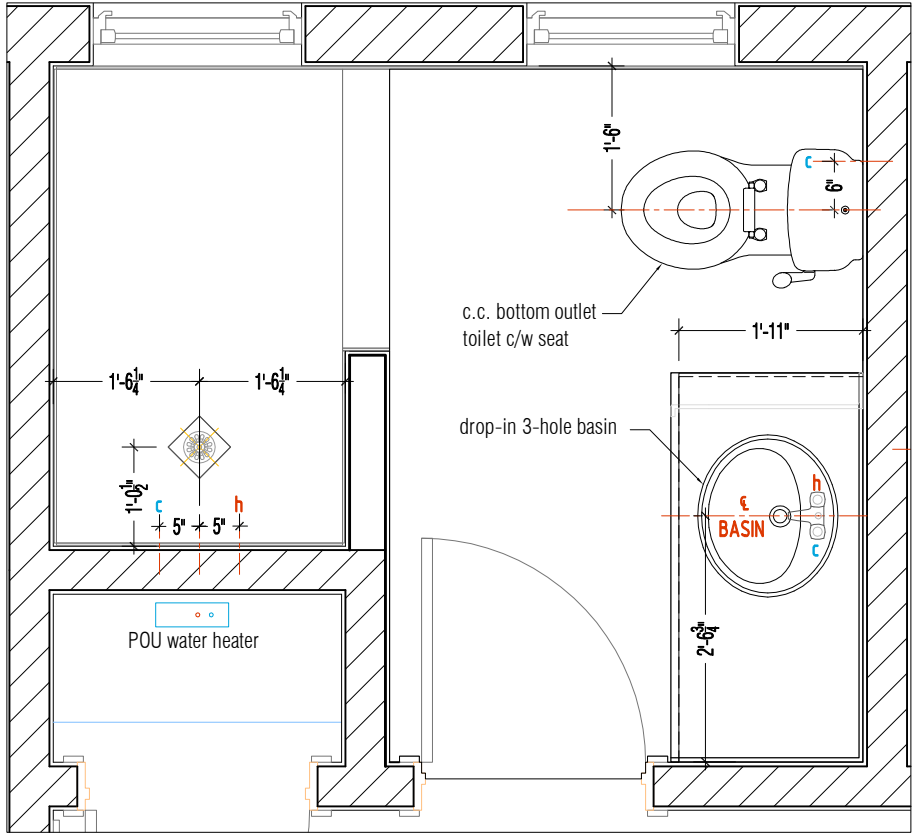
PROJECT NO. CW-A-MP.0033	DRAWING NO. A-503
DATE 15/11/17	REV:
SCALE As shown	
DRAWN BY Eug	
CHECKED BY Eug	



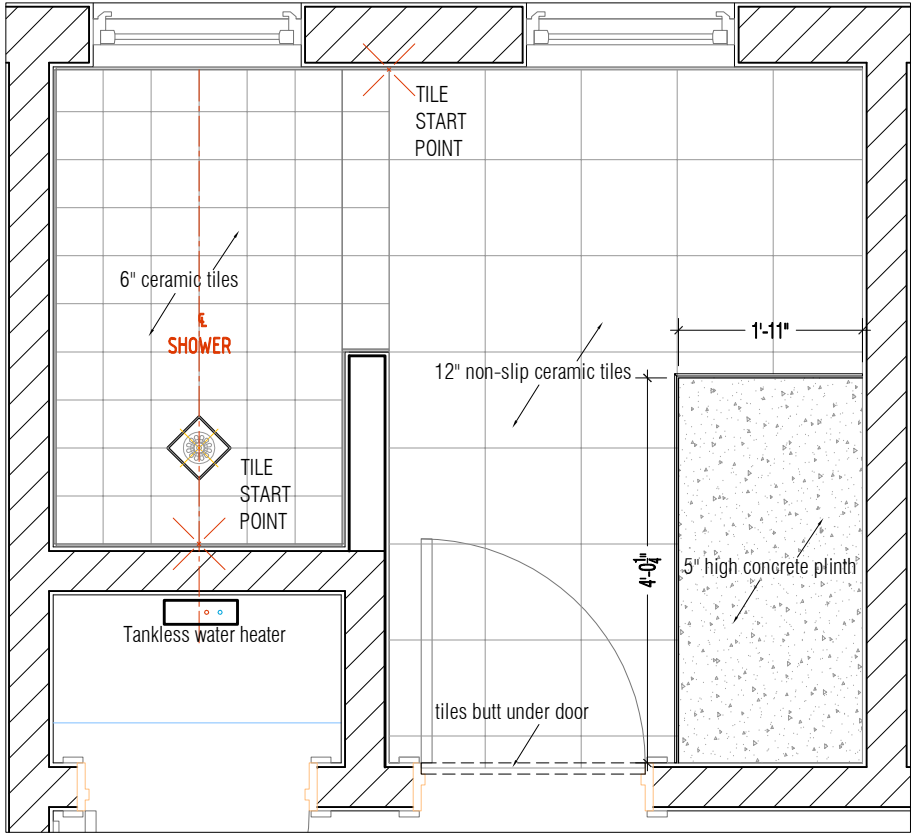
01 Lower Framing
A-510 scale 1/2" : 1'-0"



02 Counter Level
A-510 scale 1/2" : 1'-0"



01 Plumbing
A-510 scale 1/2" : 1'-0"



02 Tiling
A-510 scale 1/2" : 1'-0"

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Revisions

Date	Description
15/11/17	

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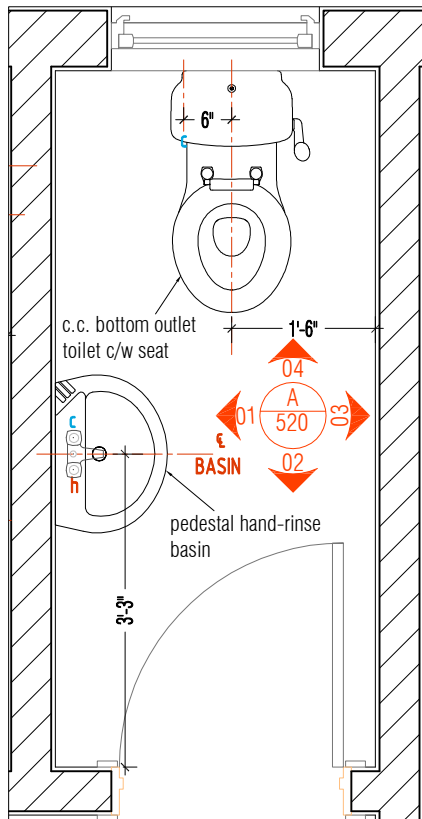
PROJECT
EMERGENCY SOCIAL
HOUSING 2-BED UNIT
- VARIOUS LOCATIONS

DRAWING
BATHROOM
PLANS

NOT FOR CONSTRUCTION

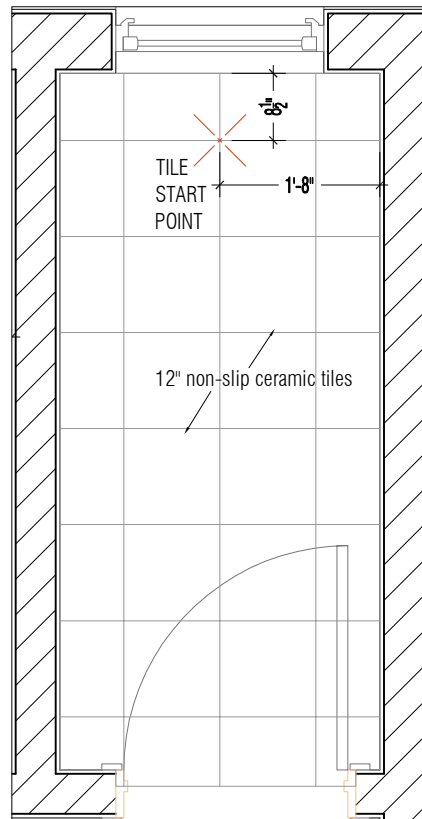
PROJECT NO.
CW-A-MP.0033
DATE
15/11/17
SCALE
as shown
DRAWN BY
Eug
CHECKED BY
Eug

DRAWING NO.
A-510
REV:



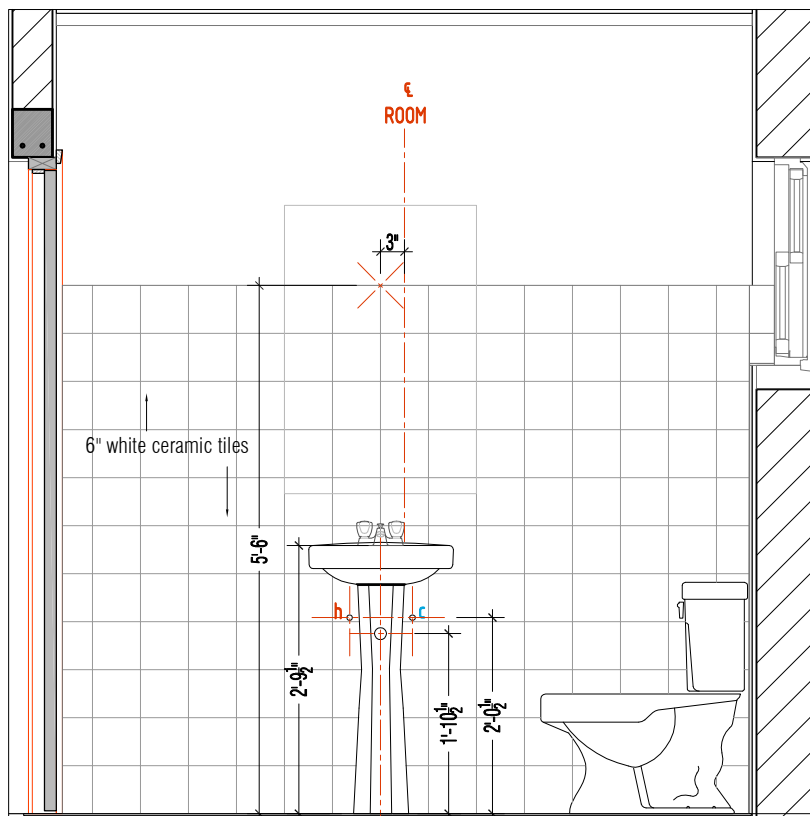
01 | PLUMBING PLAN

A-520	scale 1/2" : 1'-0"
-------	--------------------



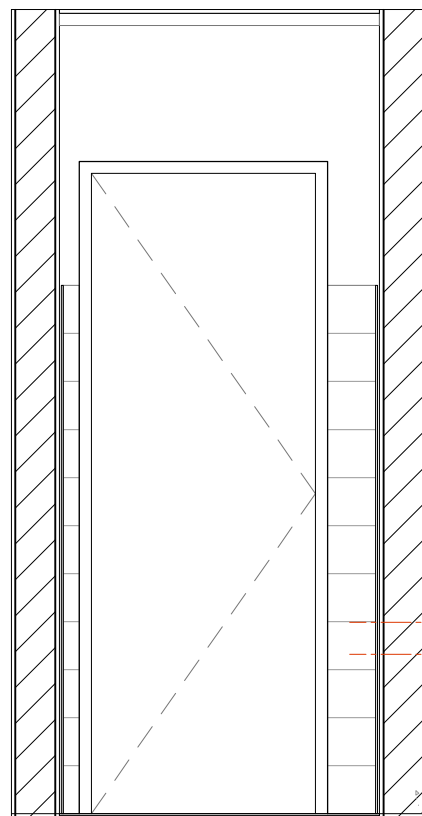
02 | TILING PLAN

A-520	scale 1/2" : 1'-0"
-------	--------------------



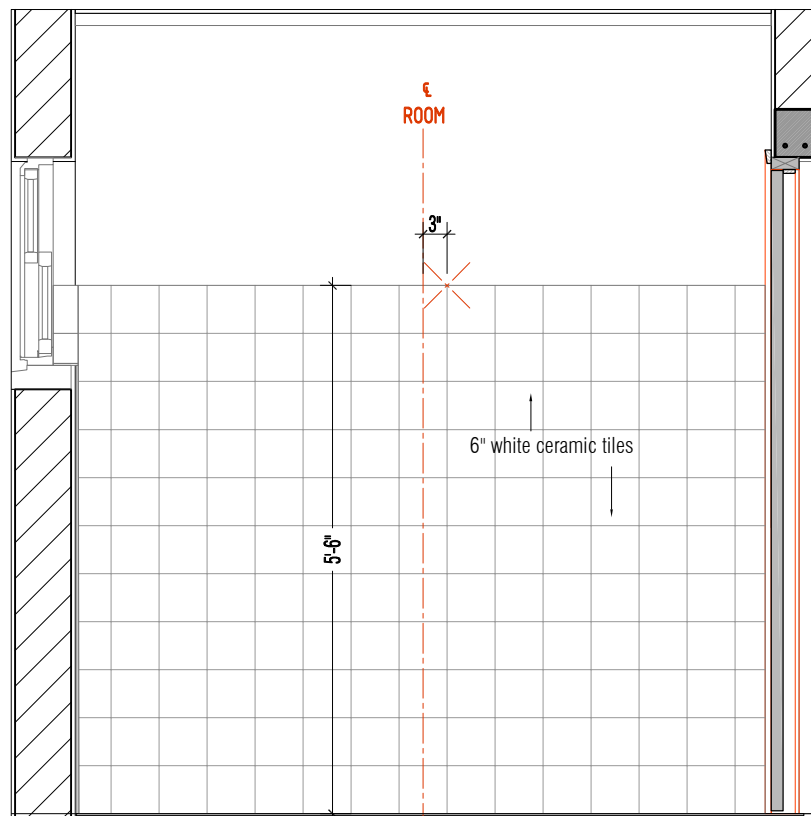
03 | ELEVATION 01

A-520 scale 1/2" : 1'-0"



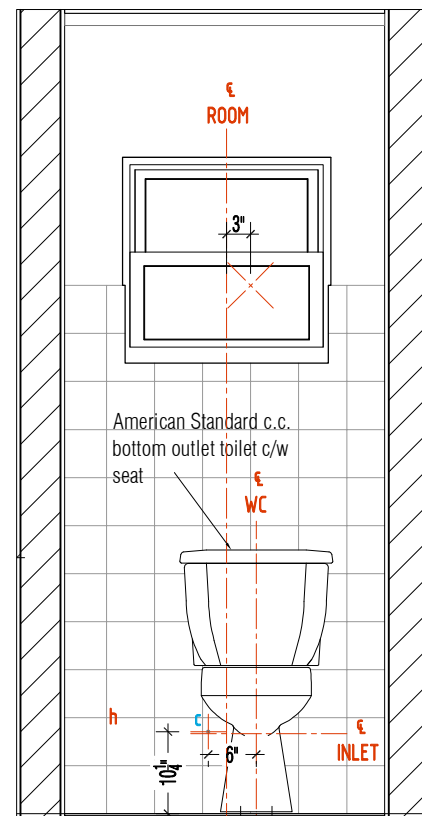
04 | ELEVATION 02

A-520 | scale 1/2" : 1'-0"



05 | ELEVATION 03

A-520 scale 1/2" : 1'-0"



06 | ELEVATION 04

A-520 | scale 1/2" : 1'-0"

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Revisions

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A	MM/DD/YY	-----
	Date	Description

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PROJECT

EMERGENCY SOCIAL HOUSING
2 BED UNIT @ Lot 192
- VARIOUS LOCATIONS, ST
JOHNS
MONTERRAT

DRAWING

1/2 BATHROOM PLAN & ELEVATIONS

NOT FOR CONSTRUCTION

PROJECT NO.
CW-A-MP.033

DATE
November 2017

SCALE
as shown

DRAWN BY
Eug

CHECKED BY
Eug

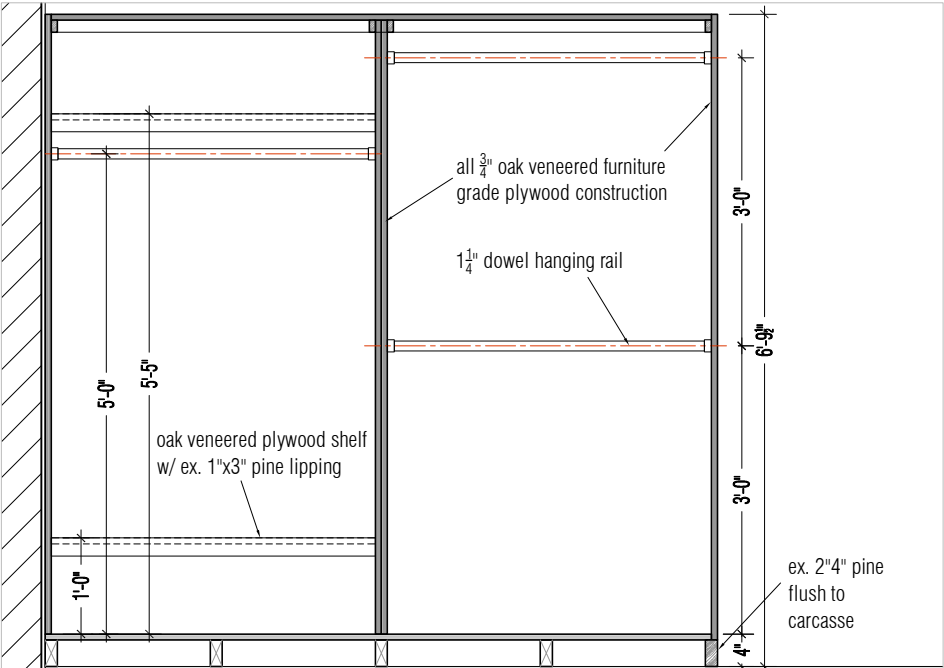
DRAWING NO.
A-520

REV:



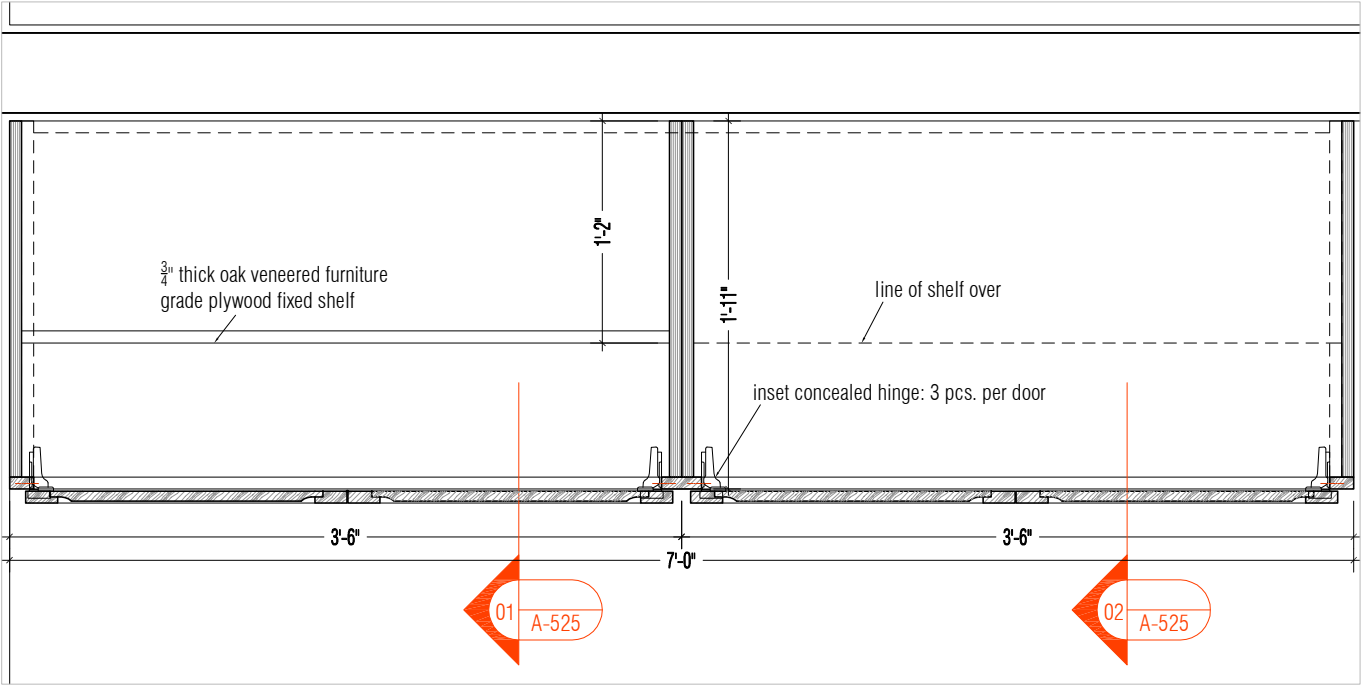
01 External View

A-525 scale 1/2" : 1'-0"



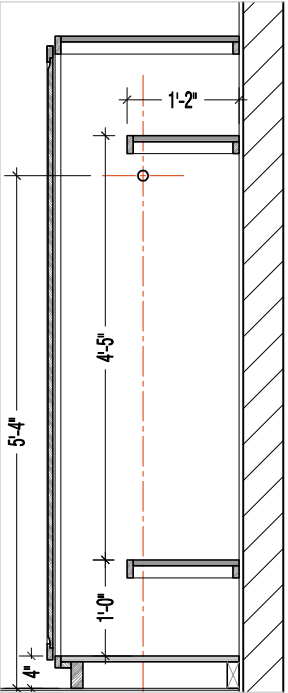
02 Internal View

A-525 scale 1/2" : 1'-0"



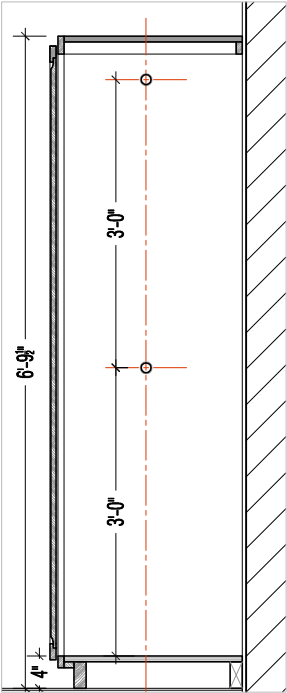
03 Plan

A-525 scale 1" : 1'-0"



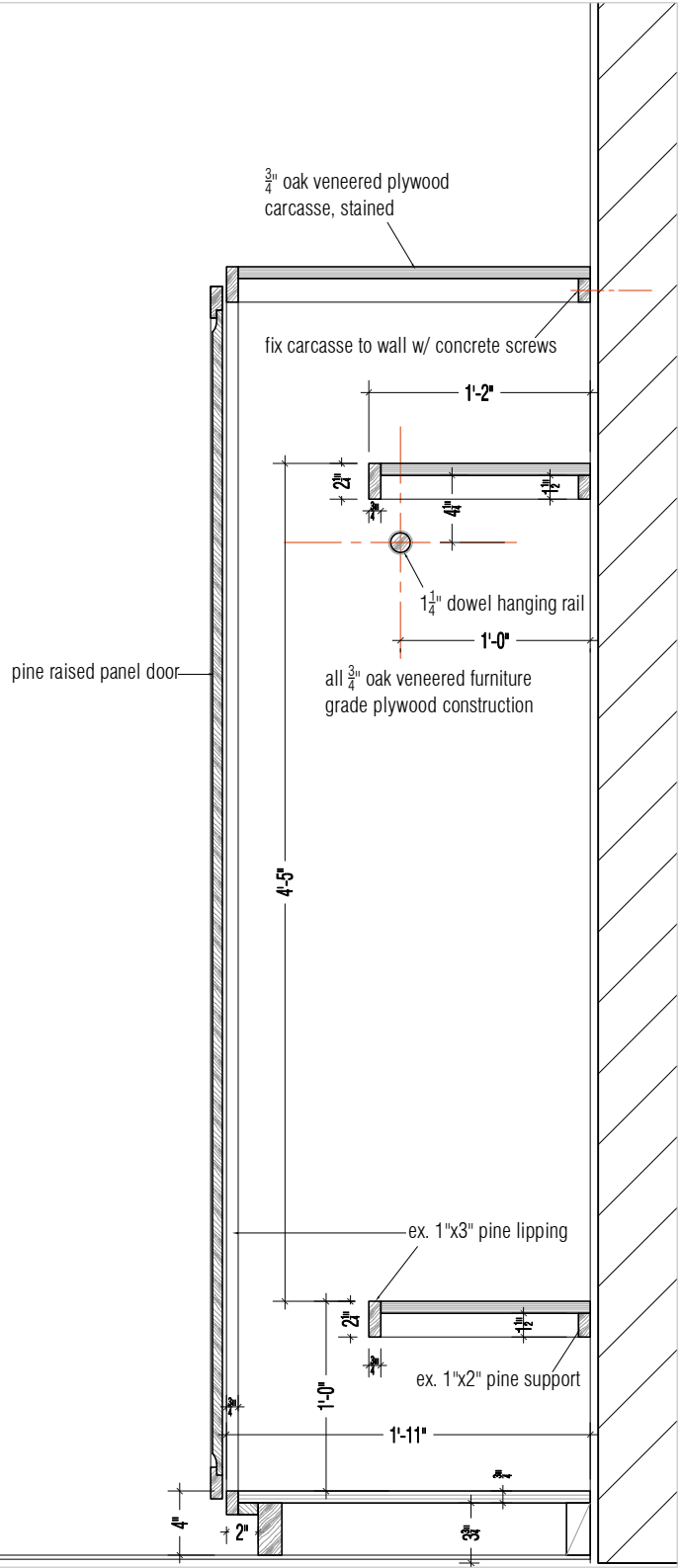
04 Section 1-1

A-525 scale 1" : 1'-0"



05 Section 2-2

A-525 scale 1" : 1'-0"



06 Construction Details

A-525 scale 1" : 1'-0"

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PROJECT
EMERGENCY SOCIAL HOUSING
2/3-BED UNITS -
VARIOUS LOCATIONS

DRAWING
WARDROBE DETAILS

NOT FOR CONSTRUCTION

PROJECT NO.
CW-A-MP.033
DATE
November 2017
SCALE
as shown
DRAWN BY
Eug
CHECKED BY
Eug
DRAWING NO.
A-525
REV:

Revisions

Date	Description
11/10/17	

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PROJECT

EMERGENCY SOCIAL HOUSING
2 BED UNIT -
VARIOUS LOCATIONS

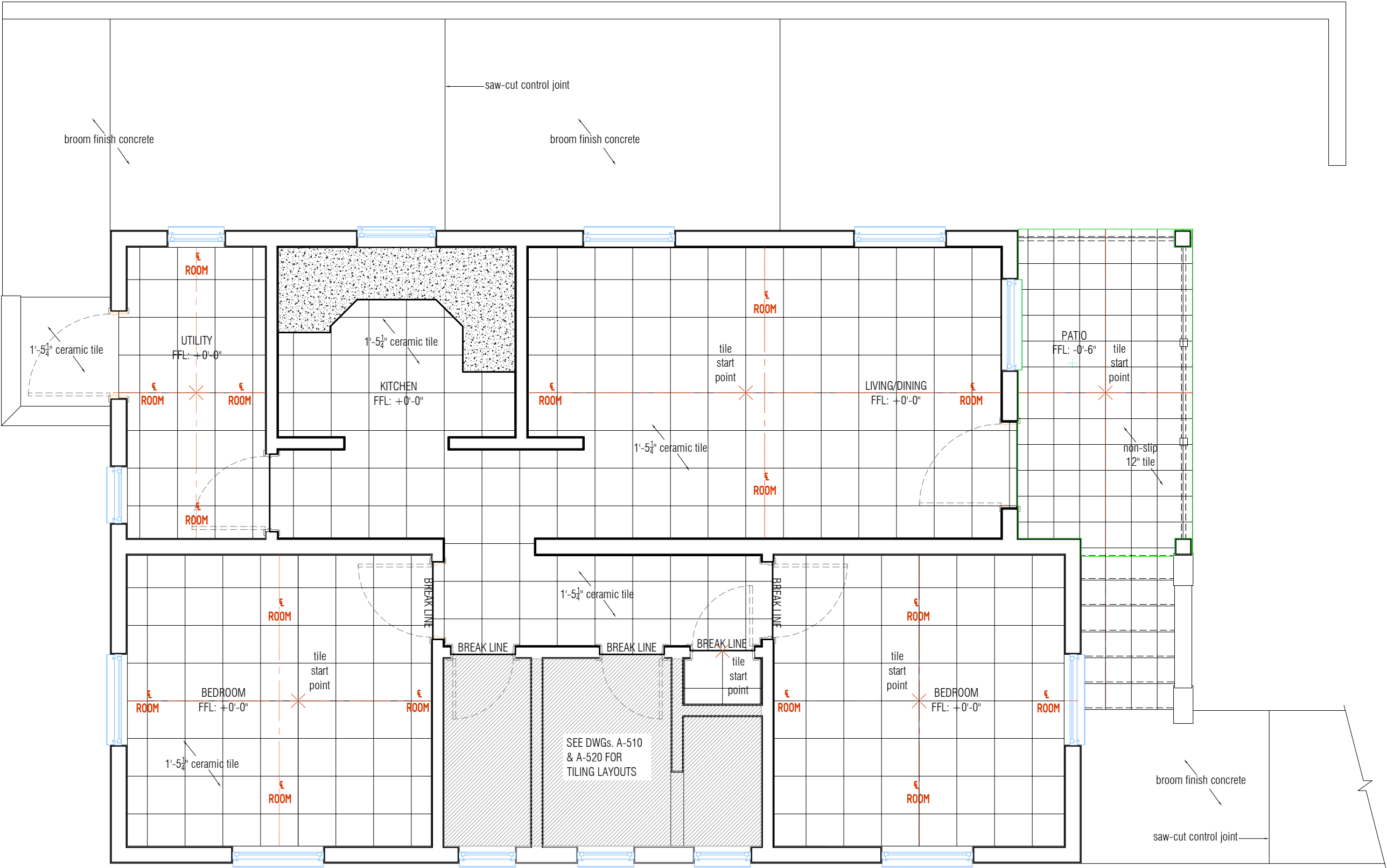
DRAWING

TILING LAYOUT

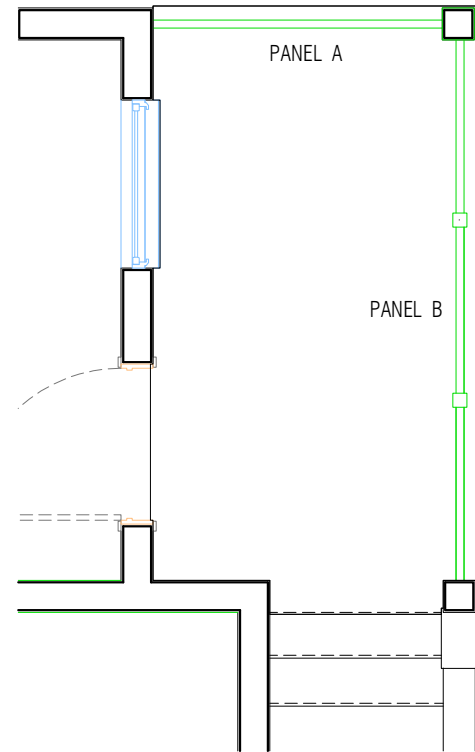
NOT FOR CONSTRUCTION

PROJECT NO.
CW-A-MP.033
DATE
November 2017
SCALE
1/4" = 1'-0"
DRAWN BY
Eug
CHECKED BY
Eug

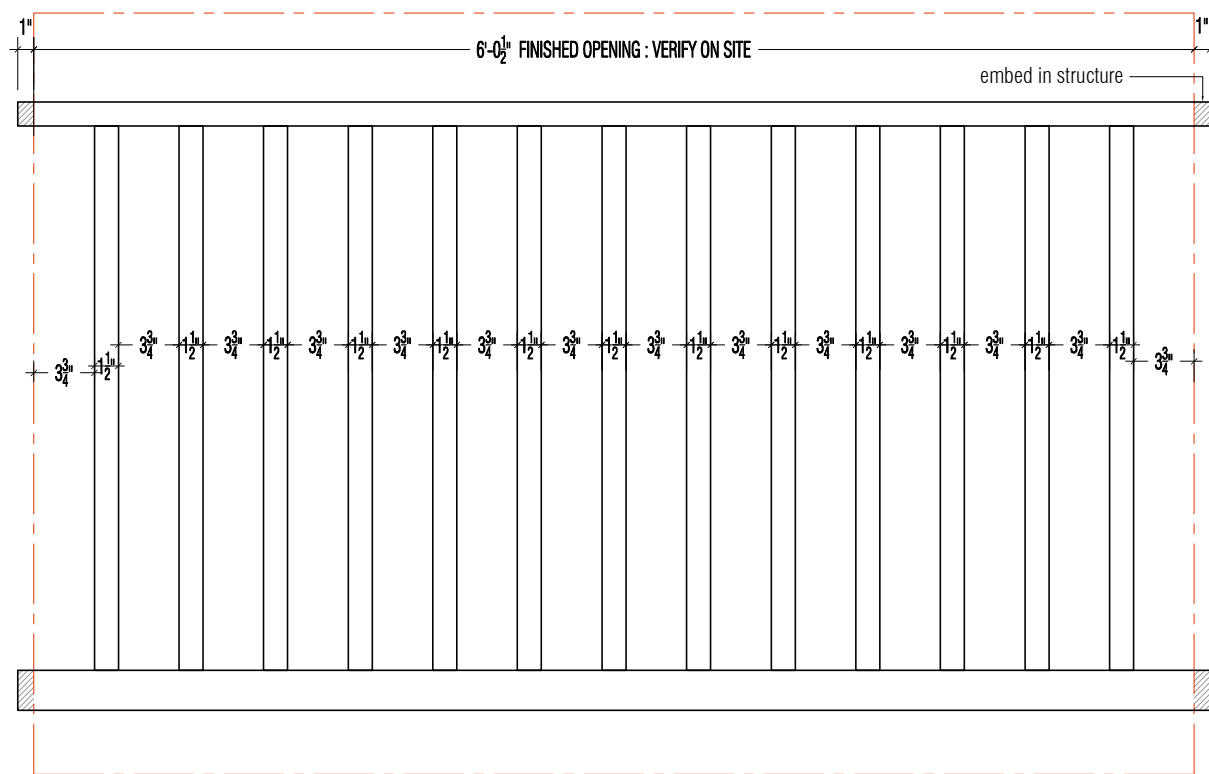
DRAWING NO.
A-530
REV:



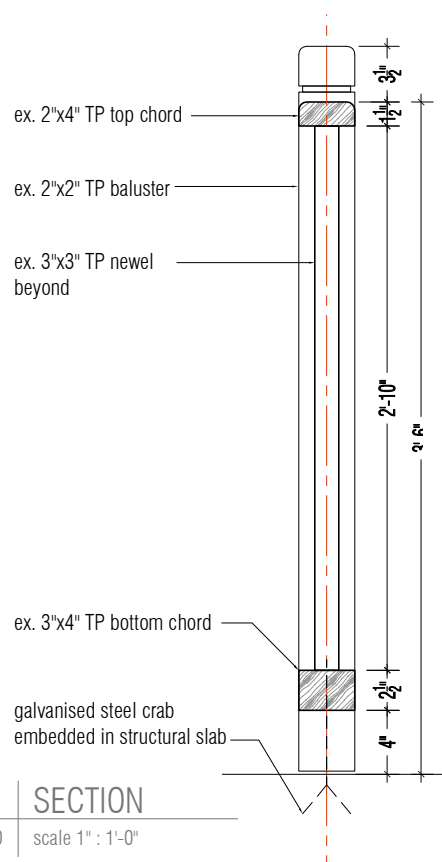
01 | TILING LAYOUT
A-530 | Scale: 1/4" = 1'-0"



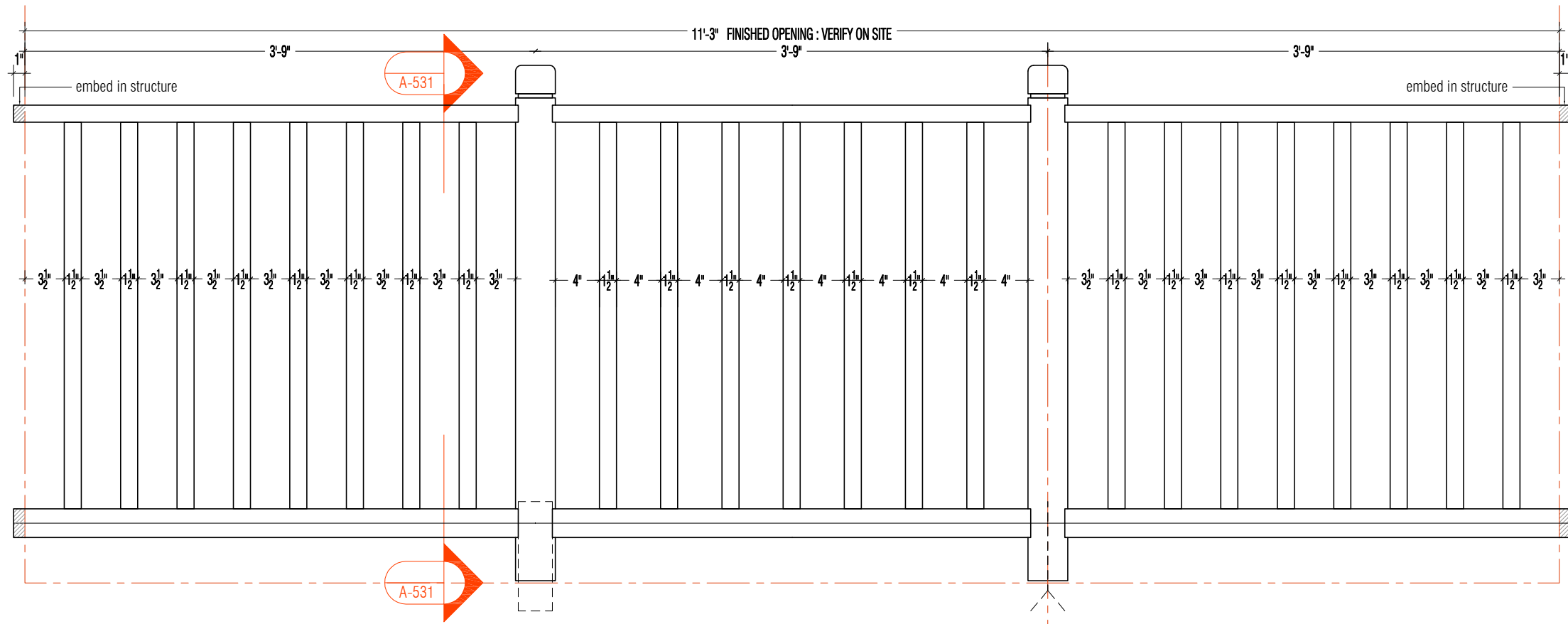
01 KEY
A-530 scale 1" : 1'-0"



02 PANEL A ELEVATION
A-530 scale 1" : 1'-0"



03 SECTION
A-530 scale 1" : 1'-0"



04 BALUSTRADES: PANEL B ELEVATION
A-531 scale 1" : 1'-0"

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Revisions

Date	Description
14/03/17	

General Notes

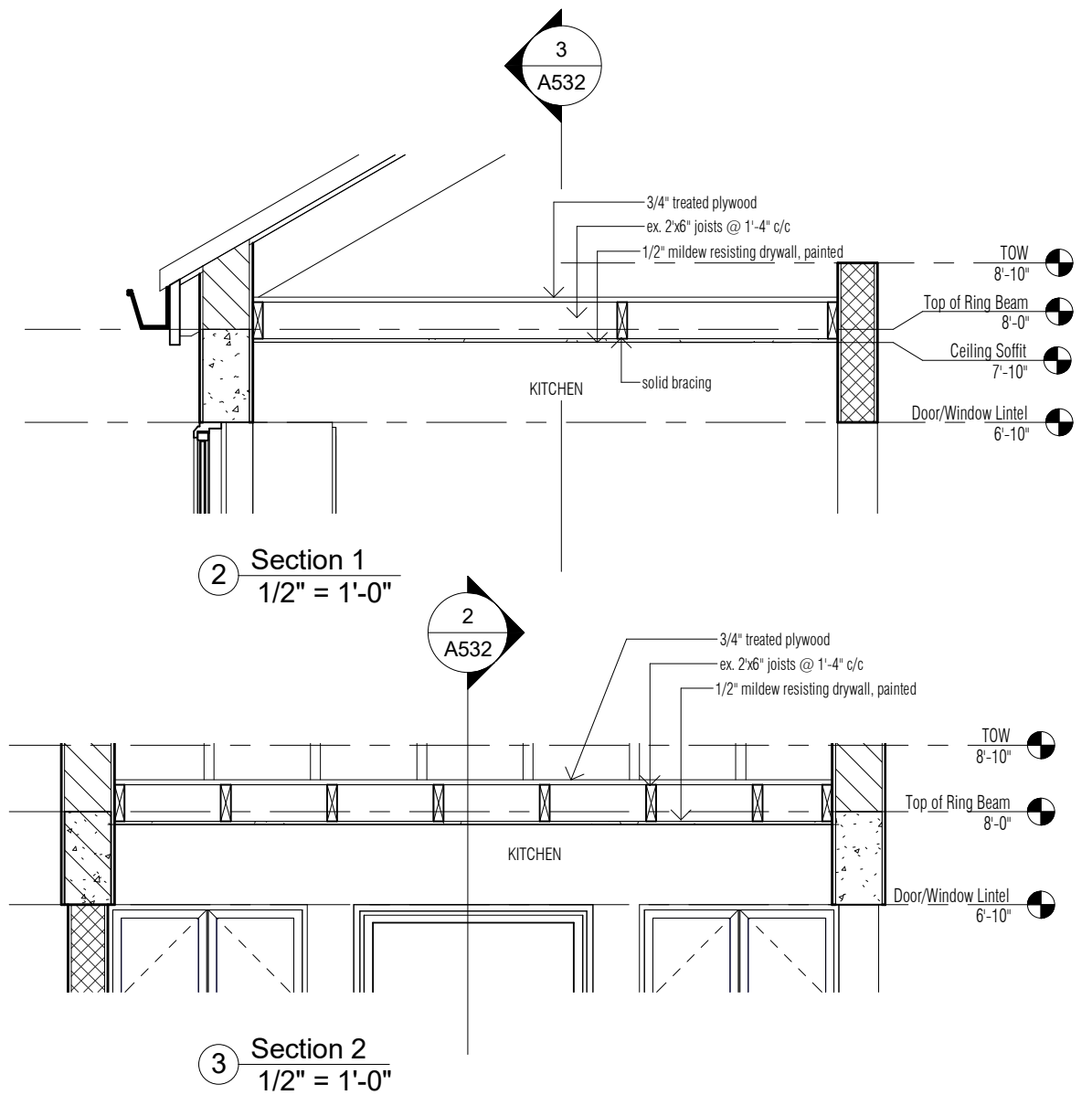
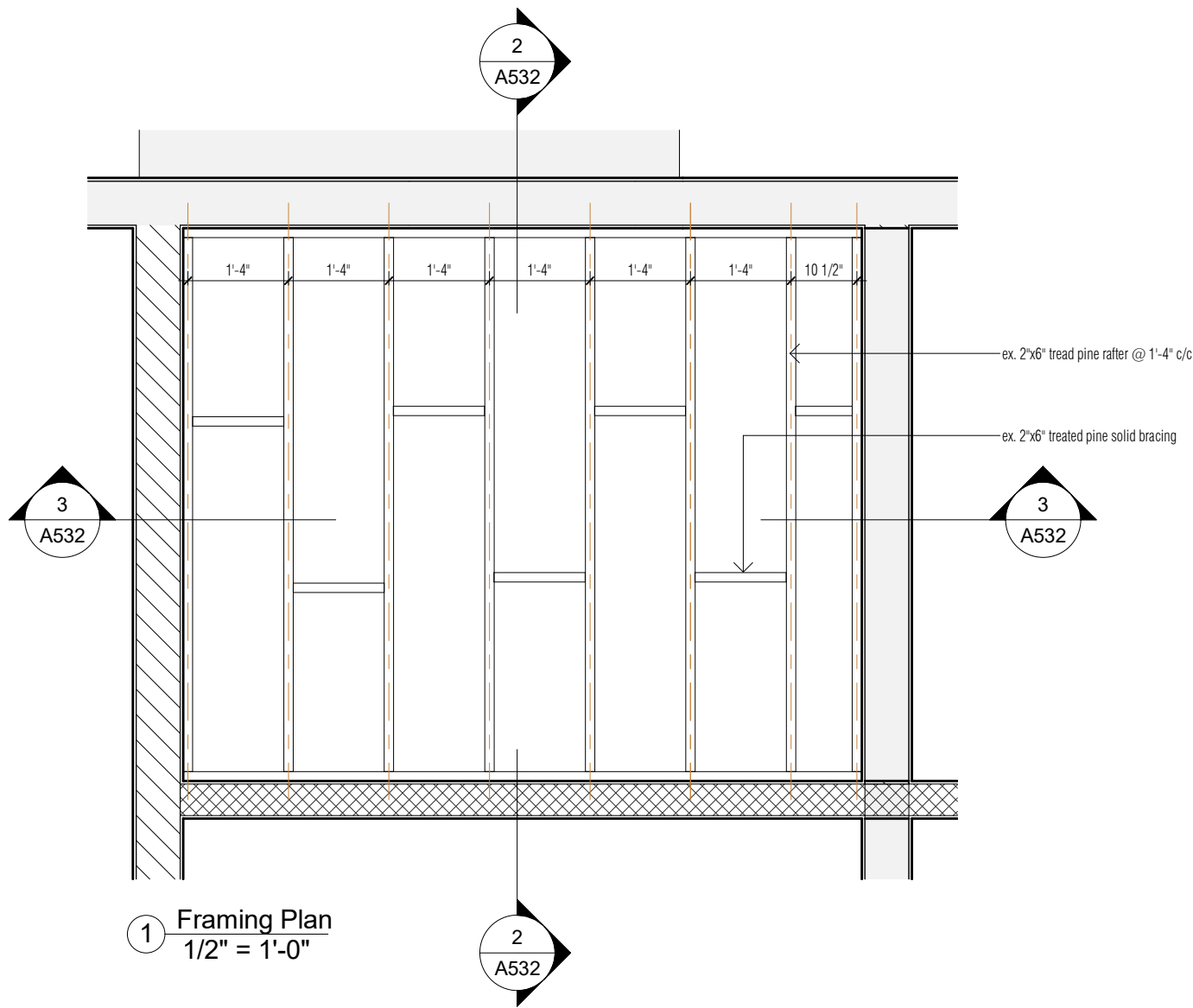
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PROJECT
EMERGENCY SOCIAL
HOUSING 2-BED UNIT -
VARIOUS LOCATIONS

DRAWING
BALUSTRADE DETAILS

NOT FOR CONSTRUCTION

PROJECT NO. CW-A-MP.0033	DRAWING NO. A-531
DATE November 2017	REV:
SCALE As shown	
DRAWN BY Eug	
CHECKED BY Eug	



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MATHLE

Social Housing - 2 Bedroom Unit @ Lot 157
Lookout, St. Johns, Montserrat

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No.	Description	Date

STORAGE LOFT DETAILS

Project number CW-A-MP.33
Date 23-Nov-17
Drawn by Eug
Checked by Eug

A532

Scale 1/2" = 1'-0"

WINDO WNo.	LOCATION	STYLE	SIZE		MATERIAL	INSECT SCREEN	IMPACT	SHUTTER	CILL HEIGHT	HEAD HEIGHT	COMMENTS
			WIDTH	HEIGHT							
1	BEDROOM 01	UPVC DOUBLE HUNG	3'-6"	4'-0"	uPVC	YES	NO	DEMOUNTABLE CORRUGATED POLY	2'-10"	6'-10"	
2	BEDROOM 01	UPVC DOUBLE HUNG	3'-6"	4'-0"	uPVC	YES	NO	DEMOUNTABLE CORRUGATED POLY	2'-10"	6'-10"	
3	BATHROOM	UPVC DOUBLE HUNG	2'-2"	2'-2"	uPVC	YES	NO	DEMOUNTABLE CORRUGATED POLY	4'-8"	6'-10"	
4	BATHROOM	UPVC DOUBLE HUNG	2'-2"	2'-2"	uPVC	YES	NO	DEMOUNTABLE CORRUGATED POLY	4'-8"	6'-10"	
5	1/2 BATH	UPVC DOUBLE HUNG	2'-2"	2'-2"	uPVC	YES	NO	DEMOUNTABLE CORRUGATED POLY	4'-8"	6'-10"	
6	BEDROOM 02	UPVC DOUBLE HUNG	3'-6"	4'-0"	uPVC	YES	NO	DEMOUNTABLE CORRUGATED POLY	2'-10"	6'-10"	
7	BEDROOM 02	UPVC DOUBLE HUNG	3'-6"	4'-0"	uPVC	YES	NO	DEMOUNTABLE CORRUGATED POLY	2'-10"	6'-10"	
8	UTILITY ROOM	UPVC DOUBLE HUNG	2'-2"	2'-2"	uPVC	YES	NO	DEMOUNTABLE CORRUGATED POLY	4'-8"	6'-10"	
9	UTILITY ROOM	UPVC DOUBLE HUNG	2'-2"	2'-2"	uPVC	YES	NO	DEMOUNTABLE CORRUGATED POLY	4'-8"	6'-10"	
10	KITCHEN	UPVC DOUBLE HUNG	3'-0"	3'-0"	uPVC	YES	NO	DEMOUNTABLE CORRUGATED POLY	3'-10"	6'-10"	
11	DINING	UPVC DOUBLE HUNG	3'-6"	4'-0"	uPVC	YES	NO	DEMOUNTABLE CORRUGATED POLY	2'-10"	6'-10"	
12	LIVING	UPVC DOUBLE HUNG	3'-6"	4'-0"	uPVC	YES	NO	DEMOUNTABLE CORRUGATED POLY	2'-10"	6'-10"	
13	LIVING	UPVC DOUBLE HUNG	3'-6"	4'-0"	uPVC	YES	NO	DEMOUNTABLE CORRUGATED POLY	2'-10"	6'-10"	

[illegible]

Revisions

Date	Description
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General Notes

1. This drawing is the exclusive property of the The Ministry of Communication, Works & Labour for Montserrat, and the reproduction in whole or in part is prohibited without prior written consent.

2. The Contractor is to check and verify all levels, datum and dimensions and report any discrepancies or omissions to the Architect prior to construction.

3. Drawings are not to be scaled

4. The Architect is not responsible for dimensions of the site plan unless they are taken directly from a registered boundary survey carried out by a Licensed Land Surveyor.

5. This drawing is to be read in conjunction with Structural, Mechanical, Electrical and/or other consultant's documentation that is applicable to the project.

PROJECT
EMERGENCY SOCIAL HOUSING
2/3-BED UNITS VARIOUS
LOCATIONS

DRAWING
DOOR SCHEDULE

NOT FOR CONSTRUCTION

PROJECT NO. CW-A-MP.033	
DATE November 2017	
SCALE NA	
DRAWN BY Eug	DRAWING NO. A-601
CHECKED BY Eug	REV:

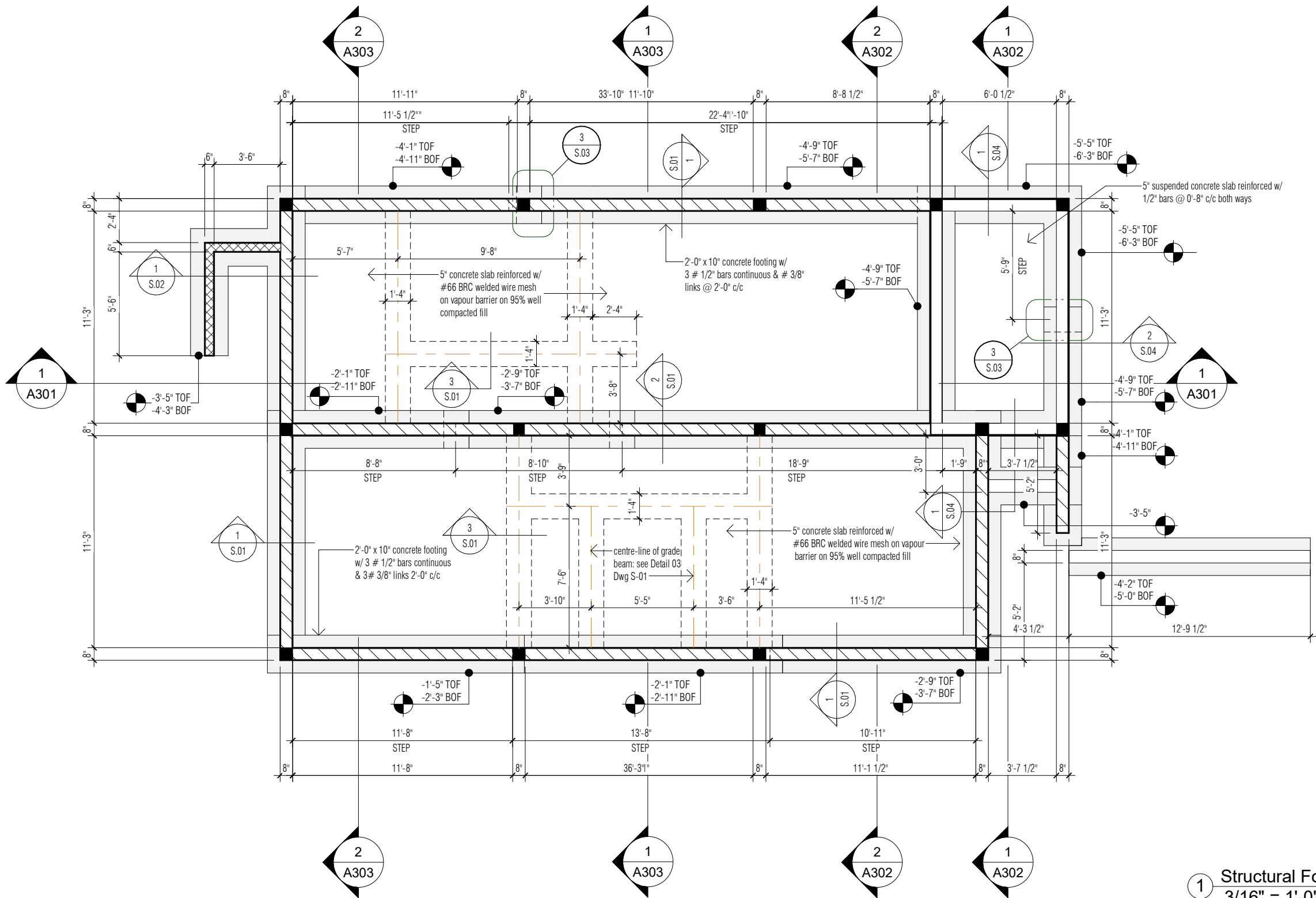
MATHLE SOCIAL HOUSING: 2-BEDROOM UNIT DOOR SCHEDULE

DOOR No.	LOCATION	STYLE	SIZE		THICKNESS	MATERIAL	ARCHITRAVE	THRESHOLD	INTERIOR /EXTERIOR	STRUCTRUAL OPENING		FINISHED OPENING		ID	FRAME SIZE	NOTES
			WIDTH	HEIGHT						WIDTH	HEIGHT	WIDTH	HEIGHT			
1	PATIO	FIELDDED 6-PANEL	3'-0"	6'-8"	1-5/8"	CEDAR	YES	YES	EXT	3'-4"	6'-10"	3'-2"	6'-9 1/2"		N/A	SOLID PANEL IN-SWING w/ SURFACE FIX THRESHOLD
2	UTILITY ROOM	ALUMINIUM 1/2 GLASS JALOUSIE	3'-0"	6'-8"	2-1/4"	ALUMINIUM / GLASS	NO	YES	EXT	3'-4"	6'-10"	3'-2"	6'-9 1/2"		N/A	EXTERIOR DOOR C/W FRAME & HINGES
3	UTILITY ROOM	FIELDDED 4-PANEL	2'-8"	6'-8"	1-3/8"	PINE	YES	NO	INT	3'-0"	6'-10"	2'-10"	6'-9 1/2"		N/A	
4	BEDROOM 02	FIELDDED 4-PANEL	2'-8"	6'-8"	1-3/8"	PINE	YES	NO	INT	3'-0"	6'-10"	2'-10"	6'-9 1/2"		N/A	
5	1/2 BATH	FIELDDED 4-PANEL	2'-4"	6'-8"	1-3/8"	CEDAR	YES	NO	INT	2'-6"	6'-10"	2'-4"	6'-9 1/2"		N/A	
6	BATHROOM	FIELDDED 4-PANEL	2'-4"	6'-8"	1-3/8"	PINE	YES	NO	INT	2'-6"	6'-10"	2'-4"	6'-9 1/2"		N/A	
7	LINEN	FULL LOUVRE	2'-4"	6'-8"	1-3/8"	CEDAR	YES	NO	INT	2'-6"	6'-10"	2'-4"	6'-9 1/2"		N/A	
8	BEDROOM 01	FIELDDED 4-PANEL	2'-8"	6'-8"	1-3/8"	PINE	YES	NO	INT	3'-0"	6'-10"	2'-10"	6'-9 1/2"		N/A	

GENERAL NOTES		NOTES		CONSTRUCTION LAYOUT		MASONRY	
1	STRUCTURAL DESIGN CRITERIA: The Design complies with the requirements of the Montserrat Building Code, 2015 International Building Code, 2015 International Residential code, ASCE 7–16 – minimum design loads for structures, ACI 318–14 – codes for structural concrete, TMS 402/602 – Building codes Specs for masonry	9	Contractor is responsible for the co–ordination of the structural, architectural, electrical, mechanical, plumbing and all other relevant drawings. All grade lines, levels, conditions and dimensions are to be verified prior to construction and confirmed on site. All potential conflicts, errors or inconsistencies shall be transmitted to the architect/engineer before commencing work.	DESIGN CRITERIA AND LOADINGS	FOR THE ACCURATE LOCATION AND ORIENTATION OF MASONRY WALLS, AND STRUCTURES REFER TO ARCHITECTURAL DRAWINGS.	1.	MASONRY UNITS SHALL CONFORM TO ASTM C90, TWO CELL HOLLOW, LOAD BEARING CONCRETE BLOCK OF 8 INCHES BY 16 INCHES. CONCRETE MASONRY SHALL HAVE AN AVERAGE PRISM STRENGTH (f'm) OF 1500 PSI.
2	FOUNDATION: Footings/ Foundations to bear 6" min. into solid rock. Notify Engineer of any discrepancy in soil bearing before proceeding with the work.			1. DESIGN CRITERIA: BUILDING CODE: IBC 2015 MONTSERRAT BUILDING CODE CONCRETE STRUCTURE: ACI BUILDING CODE (ACI 318–14) REQUIREMENTS FOR REINFORCED CONCRETE. MASONRY STRUCTURE: ACI BUILDING CODE & TMS 402/602 REQUIREMENTS FOR MASONARY STRUCTURES.	COORDINATION	2.	THE PLACEMENT OF MASONRY UNITS SHALL BE "RUNNING BOUND" TYPE. HORIZONTAL AND VERTICAL JOINTS SHALL BE THREE–EIGHTHS ON AN INCH IN THICKNESS. MORTAR USED TO BOND MASONRY SHALL BE TYPE M AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI. PROPERTIES AND PROPORTIONS SHALL COMPLY WITH ASTM C270. FOR INTERIOR WALLS THE MORTAR SHALL BE TYPE M OR S.
3	SLABS ON GREADE: (Internal) 5" thick and reinforced with 200 x 200 / 6–6 Galv. welded wire mesh (unless noted otherwise –UNO) (External) 4" thick and reinforced with 200 x 200 / 6–6 Galv. welded wire mesh Joints shall be provided in all slabs and at maximum spacing of 36 times slab thicness according to the ACI Code	DO NOT SCALE THESE DRAWINGS – USE ONLY FIGURED DIMENSIONS.	10	Absolutely no cutting of any structural member, once in place without the approval of the structural engineer.	REINFORCEMENT CLEARANCE	3.	HORIZONTAL REINFORCEMENT SHALL BE TRUSS OR LADDER TYPE AT 8" OR 16" C/C. (REFER TO DRAWINGS)
4	CONCRETE: All concrete to be regular weight with a min. design compressive strength of 3500 psi at 28 days (UNO). Contractor is responsible for the adequacy of forms and shoring, and for safe practice in their use and removal.		11	Engineer to be notified 48 hours prior to placing of any concrete.	No. 5 BARS AND SMALLER.....1 1/2" FOOTINGS.....2" TOP 3" BOTTOM TIE COLUMNS.....1–1/2" TO TIES	4.	GROUT FOR FILLED CELLS SHALL BE A PEAROCK MIX WITH A MAXIMUM AGGREGATE SIZE OF 3/8 INCH AND A 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI.
5	REINFORCING STEEL: All reinforcing steel to conform to ASTM 615 Grade 60 min. (UNO); fabricated and placed in accordance with the CRSI and ACI 315 / ACI manuals of standard practice, respectively.				STRUCTURAL STEEL	5.	HORIZONTAL JOINT REINFORCING SHALL EXTEND INTO CONCRETE COLUMNS.
6	MISC. STEEL: Anchor bolts cast in–situ, nuts and washers to be ASTM A36 (FY=36 ksi – UNO); designed in accordance with the latest AISC "Specification For The Design, Fabrication And Erection Of Structural Steel For Buildings" and the AISC Code of Standard Practice.				1. ANCHOR BOLTS AND THRU BOLTS SHALL CONFORM TO ASTM A307 OR ASTM A36 2. ALL BOLTS, NUTS, AND WASHERS SHALL BE HOT–DIP GALVANIZED ACCORDING TO ASTM A153.	ROOF SHEATHING	
7	PREPARATION: All reinforcing steels shall be free of rust and contaminants. GC shall inform Engineer 24 hours prior to placing of concrete for inspection				STRUCTURAL TIMBER MEMBERS	1. NAILING PATTERN SHALL COMPLY WITH THE BAHAMAS BUILDING CODE. USE 5/8" PLYWOOD ROOF SHEATHING NAILED EITHER TO WOOD TRUSSES OF 2"x4" WOOD STRAPPINGS WITH 8D COMMOM NAILS AT 6" C/C AT PANEL EDGES AND AT INTERMEDIATE SUPPORTS. NAIL SPACING SHALL BE 4" C/C AT GABLE ENDS.	
8	Timber/Wood MEMBERS: All timber members to be Southern Pine No. 2 or better. Timbers shall be pressure treated in accordance to the AWPA U1 R317 IRC Code & CCA (insect treatment). All timber members must bare the kiln dry 19% HT moisture SPIB No. 2 stamp.				1. ALL ROOF MEMBERS TO BE SECURED TO THE BEAMS OR OTHER STRUCTURAL MEMBERS WITH HURRICANE STRAPS/CLIPS ON BOTH SIDES OR WHAT IS SPECIFIED IN THE DRAWINGS.	2. SHEATHING SHALL BE CONTINUOUS OVER TWO OR MORE SPANS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND SHALL HAVE STAGGARD JOINTS.	
						STRUCTURAL TIMBER	
						ALL TIMBER SHALL BE PRESSURE TREATED No. 2 SOUTHERN YELLOW PINE OR BETTER HAVING THE FOLLOWING MIN. PROPERTIES WHEN MOISTURE CONTENT EXCEEDS 19% Fb = 1500 PSI (EXTREME FIBER BENDING/SINGLE MEMBER) Ft = 800 PSI (TENSION PARALLEL TO GRAIN) Fv = 95 PSI (HORIZONTAL SHEAR) E = 1,500,000 PSI (MODULUS OF ELASTICITY)	
						TYPICAL DETAILS	
						TYPICAL DETAILS APPLY AT ALL APPROPRIATE LOCATIONS UNLESS OTHERWISE NOTED ON DRAWINGS.	

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GENERAL NOTES	
Project number	CW-A-MP.33
Date	23 Nov 17
Drawn by	Eug
Checked by	JB
Scale	N.A.



BLOCK 14/4 : PARCEL 192
LOT AREA : 3777 sq.ft. [350.89 sq. m.]
GROSS SQUARE FOOTAGE (COVERED): 936 sq.ft. [86.96 sq.m.]

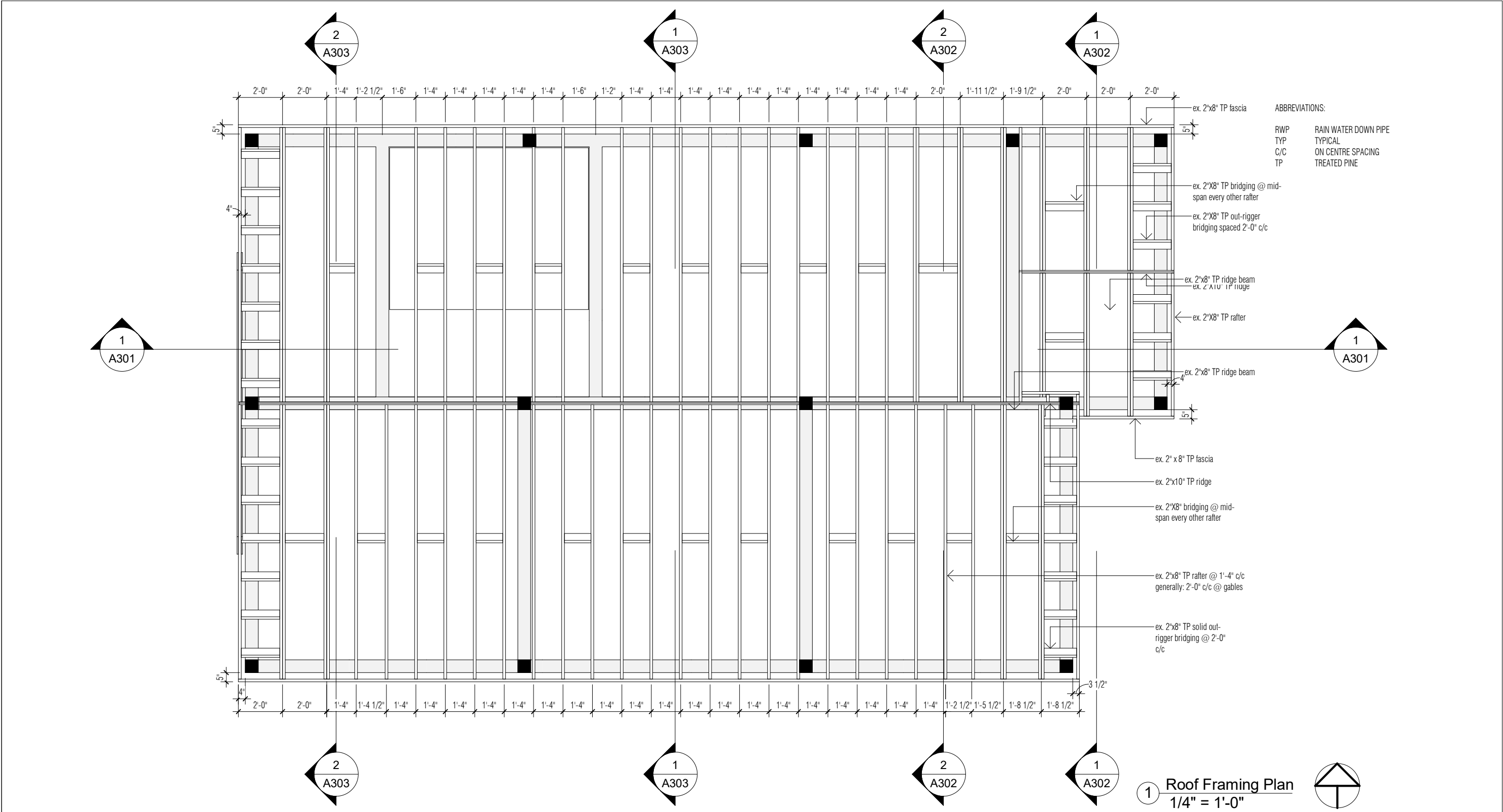
- GENERAL NOTES:
1. THE CONTRACTOR IS RESPONSIBLE FOR ALL LATERAL BRACING AND VERTICAL SUPPORT OF THE STRUCTURE THROUGHOUT THE DURATION OF THE PROJECT, UNTIL THE STRUCTURE IS COMPLETE TO THE FINAL CONFIGURATION SHOWN ON THE DRAWINGS. SHORING AND BRACING, AS NEEDED TO PLUMB AND LEVEL THE STRUCTURE, SHALL REMAIN IN PLACE AS LONG AS NECESSARY FOR SAFETY, AND UNTIL ALL DIAPHRAGMS AND STRUCTURE ARE CAPABLE OF PROVIDING STRUCTURE STABILITY.
 2. IF DURING THE COURSE OF WORK, ANY UNUSUAL OR DETRIMENTAL CONDITIONS NOT INDICATED ON THE DRAWINGS, ARE DISCOVERED, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ENGINEER-OF-RECORD BEFORE WORK CAN PROCEED WITH THAT PORTION OF THE WORK.
 3. BACK-FILLING & COMPACTION: WHERE FILL DEPTHS EXCEED 3'-6", ALL EXTERNAL WALLS SHALL BE BRACED TO THE SATISFACTION OF THE ENGINEER PRIOR TO THE START OF BACK-FILLING OPERATIONS. BRACING SHALL ONLY BE REMOVED UPON WRITTEN INSTRUCTION ISSUED BY THE ENGINEER.
 4. DO NOT SCALE THE DRAWINGS, REPORT ANY OMISSIONS OR ERRORS TO ARCHITECT/ENGINEER. ANY QUERIES? - PLEASE CALL!

NOTES:
ALL LEVELS REFER TO DATUM 0.000 (FINISH GROUND FLOOR)
REFER ALSO TO STRUCTURAL DRAWINGS S.01 - S.08
REINFORCEMENT DETAILS

1 Structural Foundation Plan
3/16" = 1'-0"

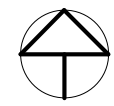


<div>PWD</div>	<div>Public Works Department</div> <div>Ministry of Communications & Works</div> <div>P.O. Box 344</div> <div>Montserrat</div> <div>West Indies</div> <div>T: (664) 491-6611</div> <div>F: (664) 491-6659</div> <div>E: govarch@gov.ms</div>	<div>MATHLE</div> <div>Social Housing - 2 Bedroom Unit @ Lot 157</div> <div>Lookout, St. Johns, Montserrat</div>	<div>1. This drawing is the exclusive property of the M.C.W.L. for Montserrat and reproduction in whole and/or part is prohibited without prior written consent.</div> <div>2. The contractor shall confirm all datum, levels & dimensions and shall immediately report any discrepancies and/or omissions to the architect.</div> <div>3. Do NOT scale drawings.</div> <div>4. The architect is not responsible for the dimensions indicated on Site Plans unless taken directly from a REGISTERED boundary survey prepared by a licensed land surveyor.</div> <div>5. This drawing to be read and coordinated with all other relevant consultant's drawings and project documentation.</div>	<table><tr><th>No.</th><th>Description</th><th>Date</th></tr><tr><td>01</td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></table>	No.	Description	Date	01																		<div>STRUCTURAL FOUNDATION PLAN</div> <table><tr><td>Project number</td><td>CW-A-MP.33</td><td rowspan="3">S201</td></tr><tr><td>Date</td><td>23-Nov-17</td></tr><tr><td>Drawn by</td><td>Eug</td></tr><tr><td>Checked by</td><td>Eug</td><td>Scale 3/16" = 1'-0"</td></tr></table>		Project number	CW-A-MP.33	S201	Date	23-Nov-17	Drawn by	Eug	Checked by	Eug	Scale 3/16" = 1'-0"
	No.	Description	Date																																		
	01																																				
Project number	CW-A-MP.33	S201																																			
Date	23-Nov-17																																				
Drawn by	Eug																																				
Checked by	Eug	Scale 3/16" = 1'-0"																																			

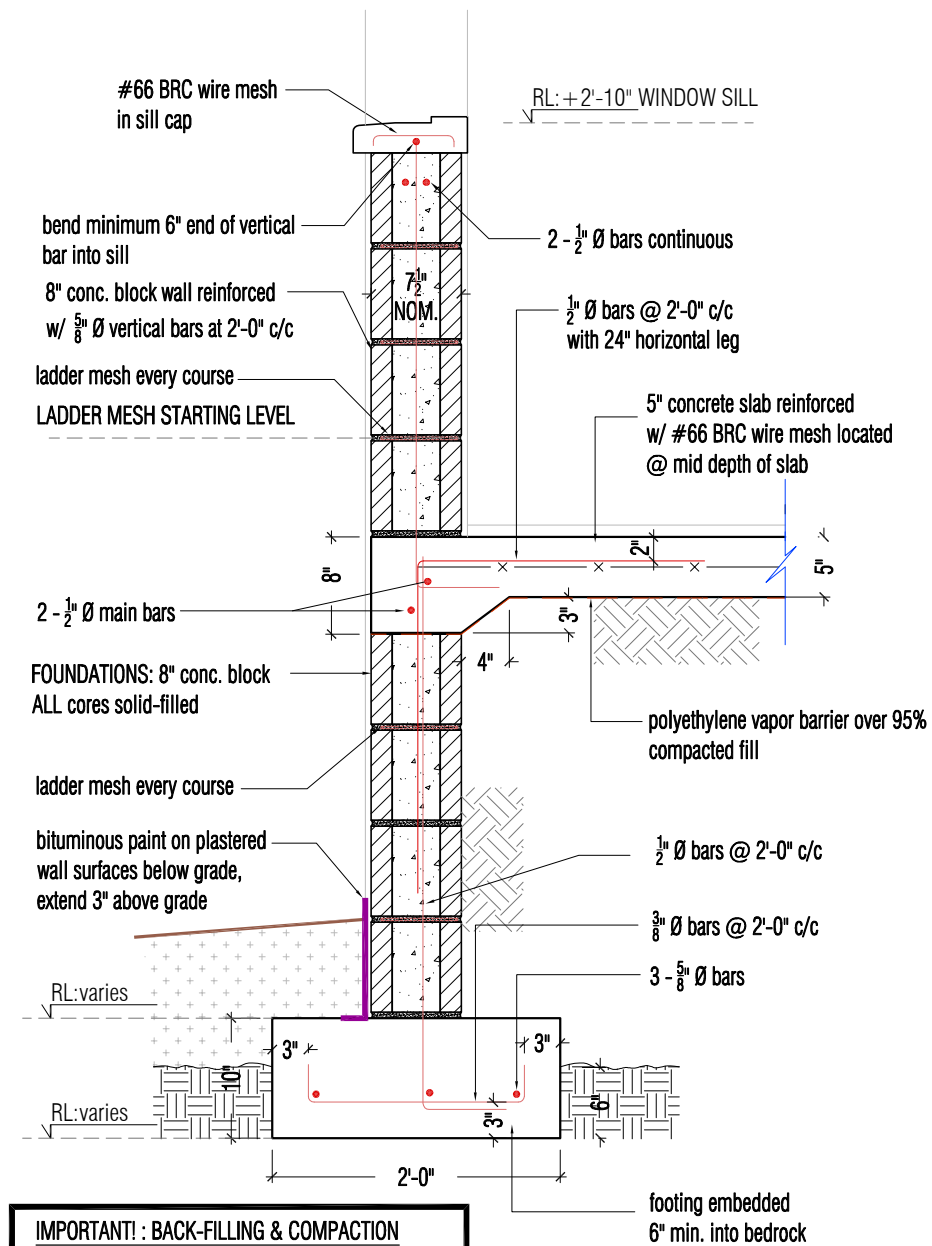


ABBREVIATIONS:
RWP RAIN WATER DOWN PIPE
TYP TYPICAL
C/C ON CENTRE SPACING
TP TREATED PINE

1 Roof Framing Plan
1/4" = 1'-0"

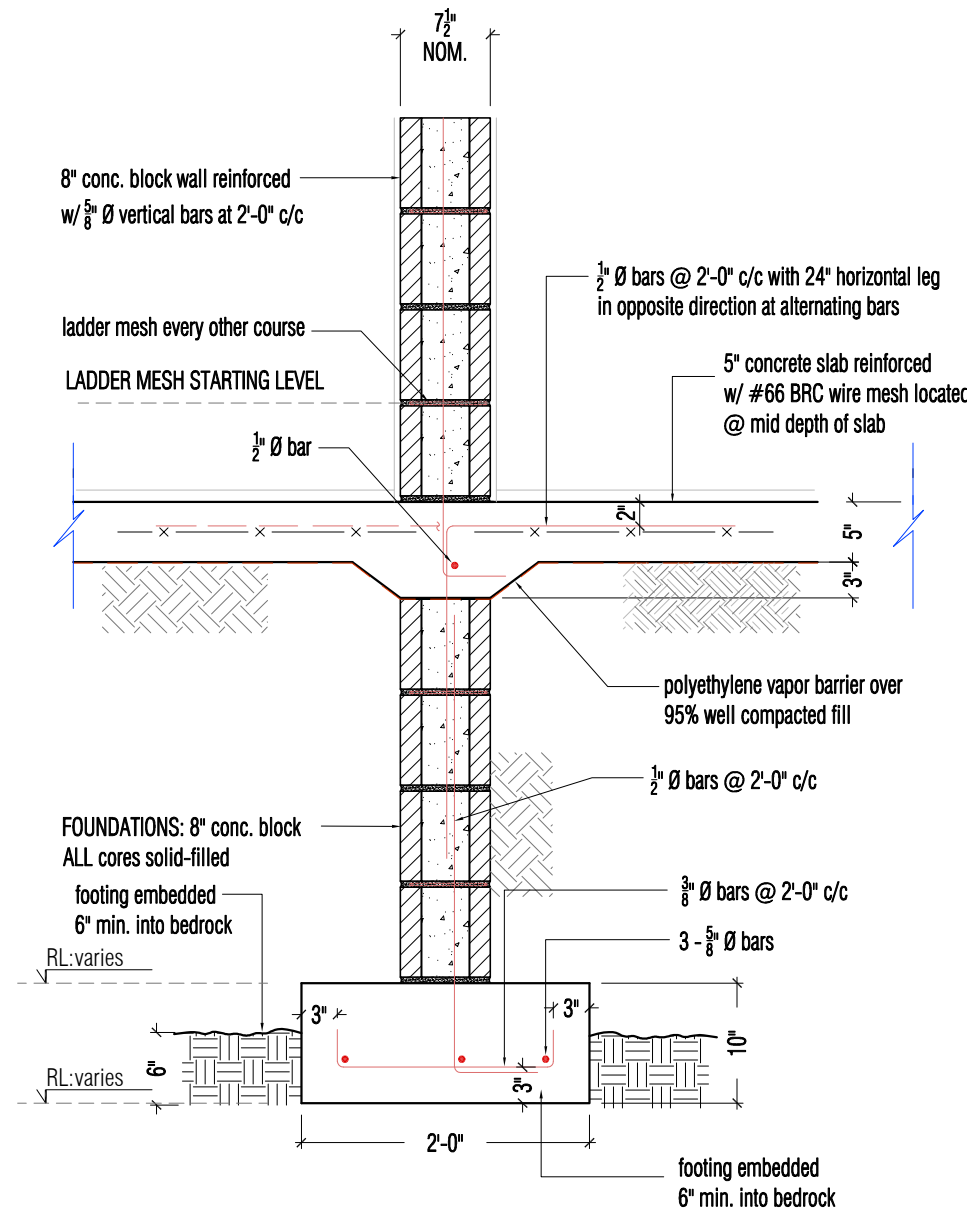


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		2. The contractor shall confirm all datum, levels & dimensions and shall immediately report any discrepancies and/or omissions to the architect.																							
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		<table><tr><th>No.</th><th>Description</th><th>Date</th></tr><tr><td>01</td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></table>	No.	Description	Date	01																			
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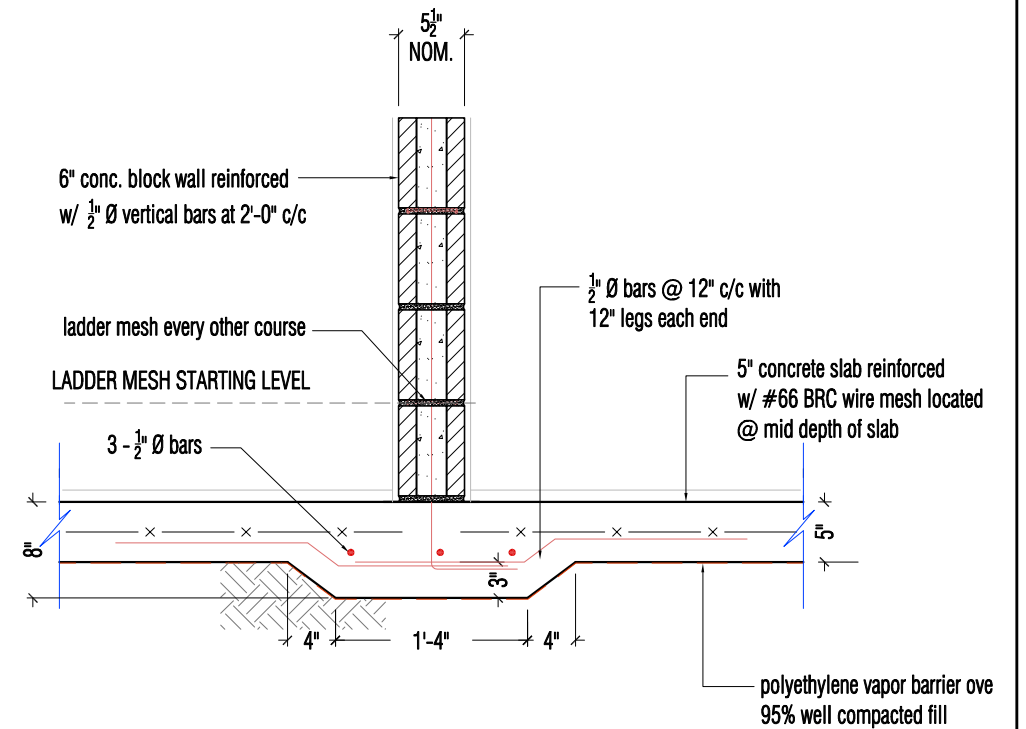


IMPORTANT! : BACK-FILLING & COMPACTION
WHERE FILL DEPTHS EXCEED 4'-0", ALL EXTERNAL WALLS SHALL BE BRACED TO THE SATISFACTION OF THE ENGINEER PRIOR TO THE START OF BACK-FILLING OPERATIONS. BRACING SHALL ONLY BE REMOVED UPON WRITTEN INSTRUCTION ISSUED BY THE ENGINEER

01 | DETAIL 01: TYPICAL PERIMETER WALLS
S.01 | Scale: 3/4" - 1'-0"



02 | DETAIL 02: INTERNAL {LONGITUDINAL} 8" WALL
S.01 | Scale: 3/4" - 1'-0"



03 | DETAIL 03: INTERNAL {TRAVERSE} WALLS
S.01 | Scale: 3/4" - 1'-0"

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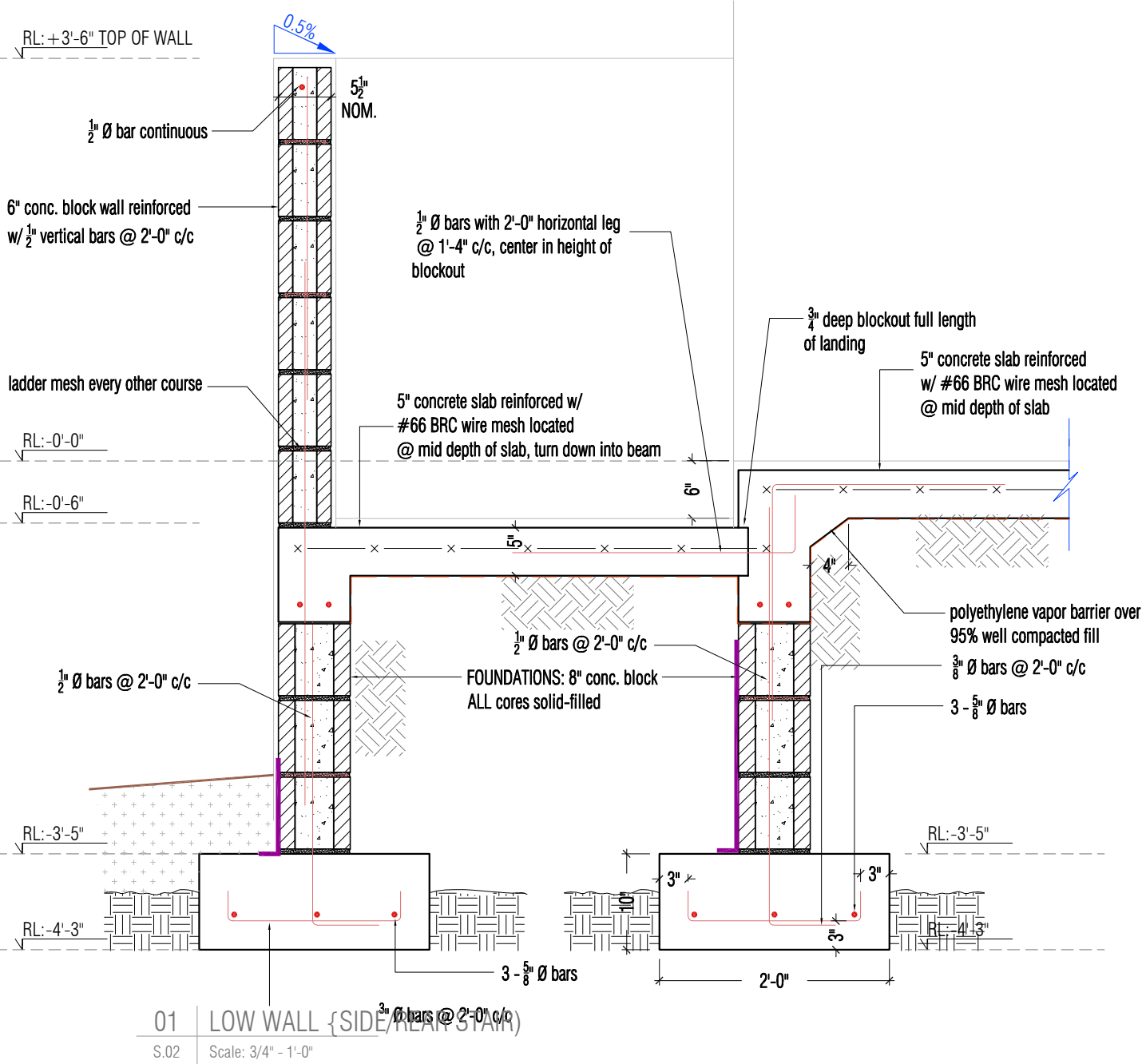
MATHLE

2 Bedroom Family Dwelling: Lookout, Lot 157
St Johns
Montserrat

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No.	Description	Date		
			TYPICAL STRUCTURAL DETAILS	
			Project number	CW-A-MP.33
			Date	23 Nov 17
			Drawn by	Eug
			Checked by	Eug
			Scale	$\frac{3}{4}$ " : 1'-0"
			S.01	

NOTE: ALL BLOCKS @ TOP COURSE
SHALL BE SOLID FILLED W/ CONCRETE



PWD

Public Works Department

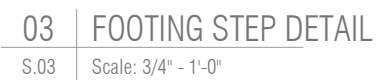
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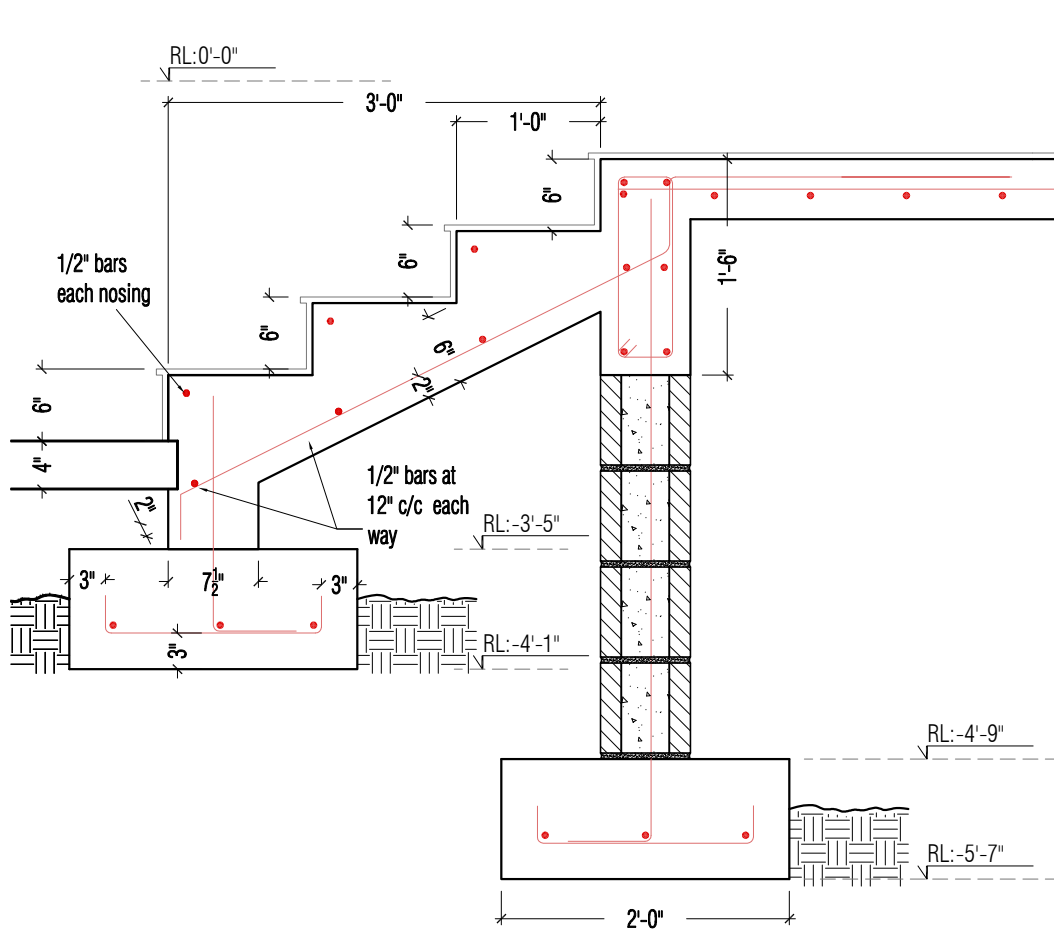
MATHLE

2 Bedroom Family Dwelling: Lookout, Lot 157
St Johns
Montserrat

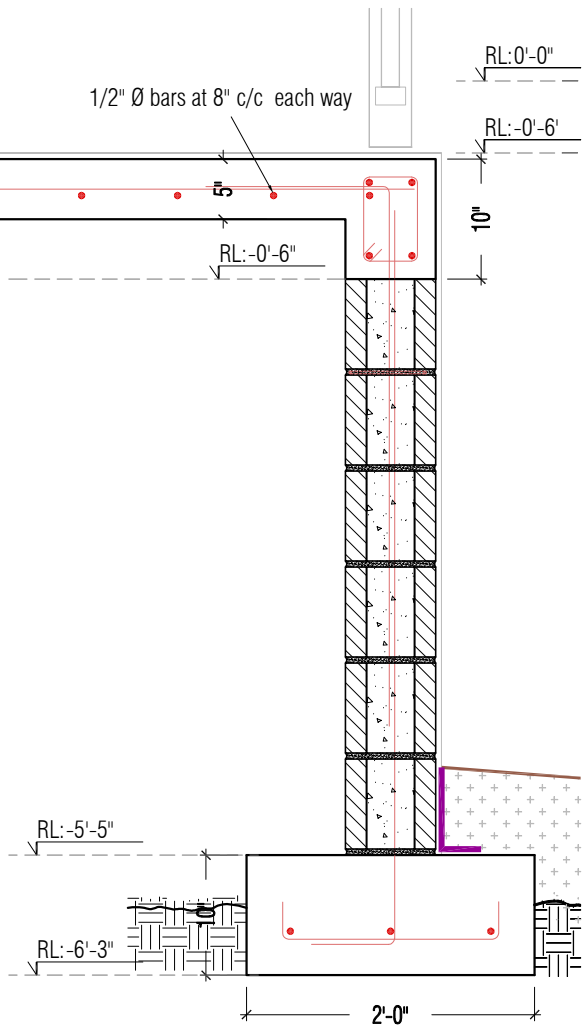
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No.	Description	Date				
			TYPICAL STRUCTURAL DETAILS			
			Project number		CW-A-MP.33	S.02
			Date		23 Nov 17	
			Drawn by		Eug	
			Checked by		Eug	
		Scale	3/4" : 1'-0"			

172 of 177



01 | SECTION 01
S.04 | Scale: 3/4" - 1'-0"



02 | SECTION 02
S.04 | Scale: 3/4" - 1'-0"

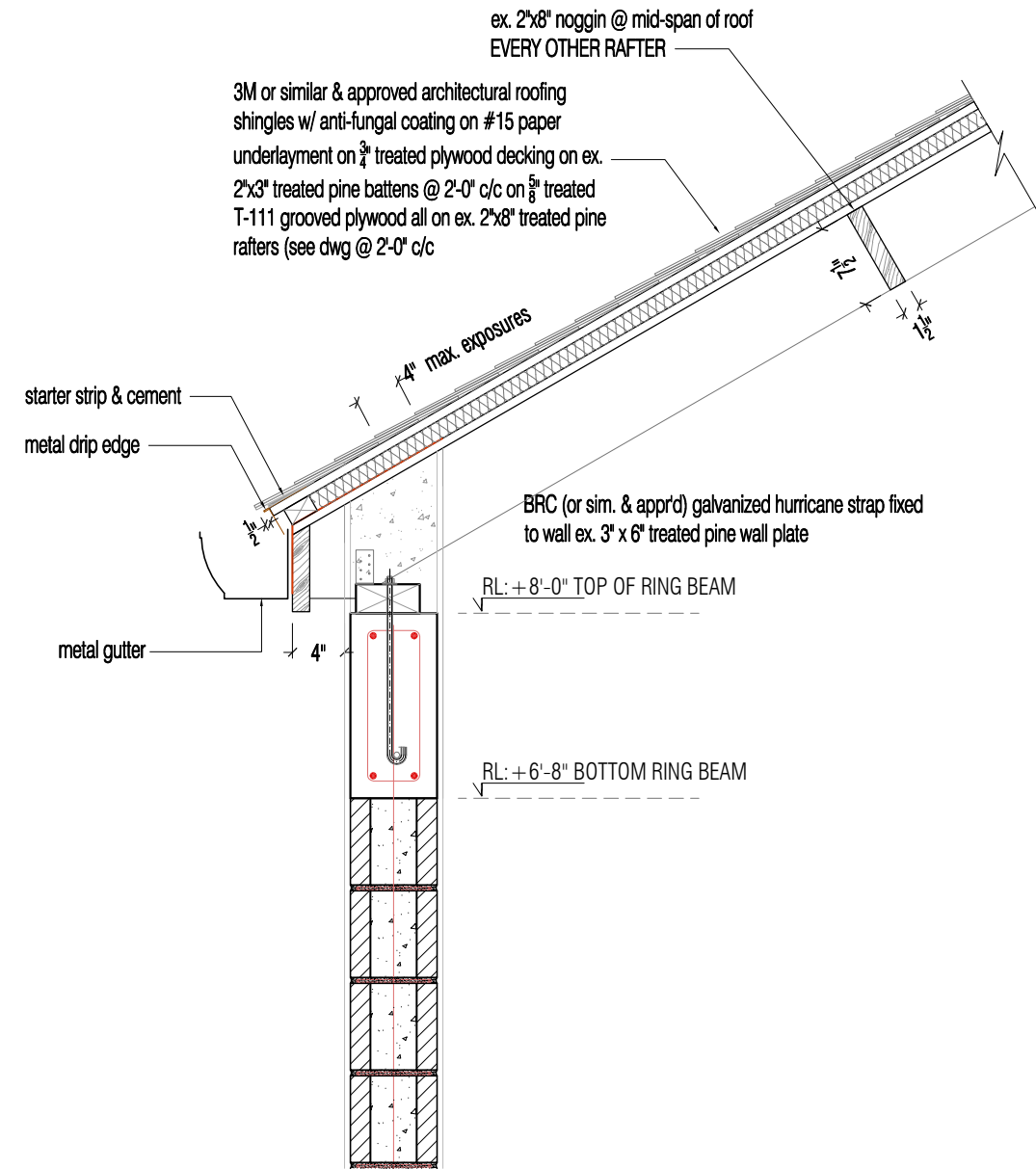
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MATHLE
2 Bedroom Family Dwelling: Lookout, Lot 157
St Johns
Montserrat

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No.	Description	Date	STAIR DETAILS	
			Project number	CW-A-MP.33
			Date	23 Nov 17
			Drawn by	Eug
			Checked by	Eug
			S.04	
			Scale 3/4" : 1'-0"	



01 ROOF PACKAGE: EAVES
S.05 Scale: 3/4" = 1'-0"

PWD

Public Works Department

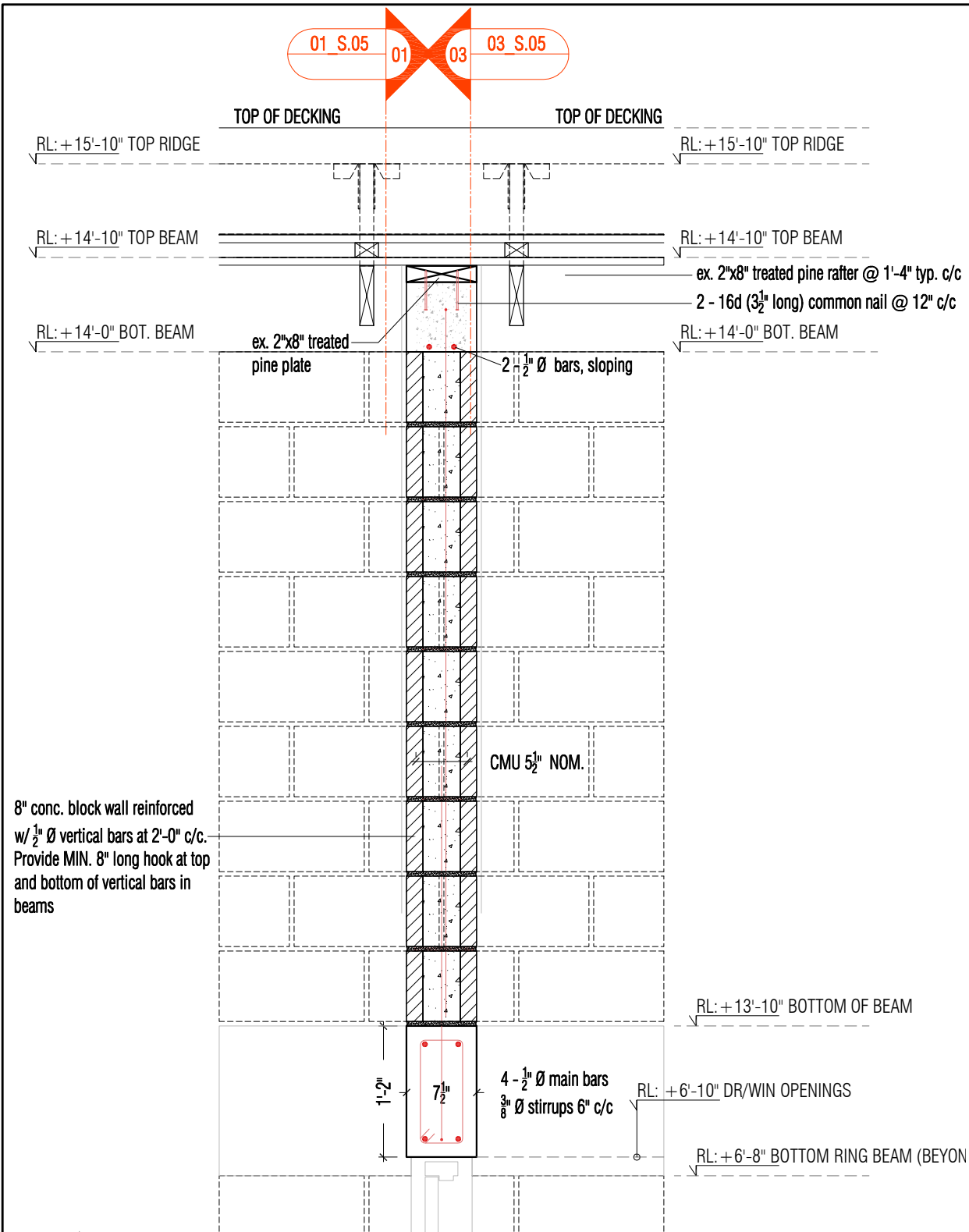
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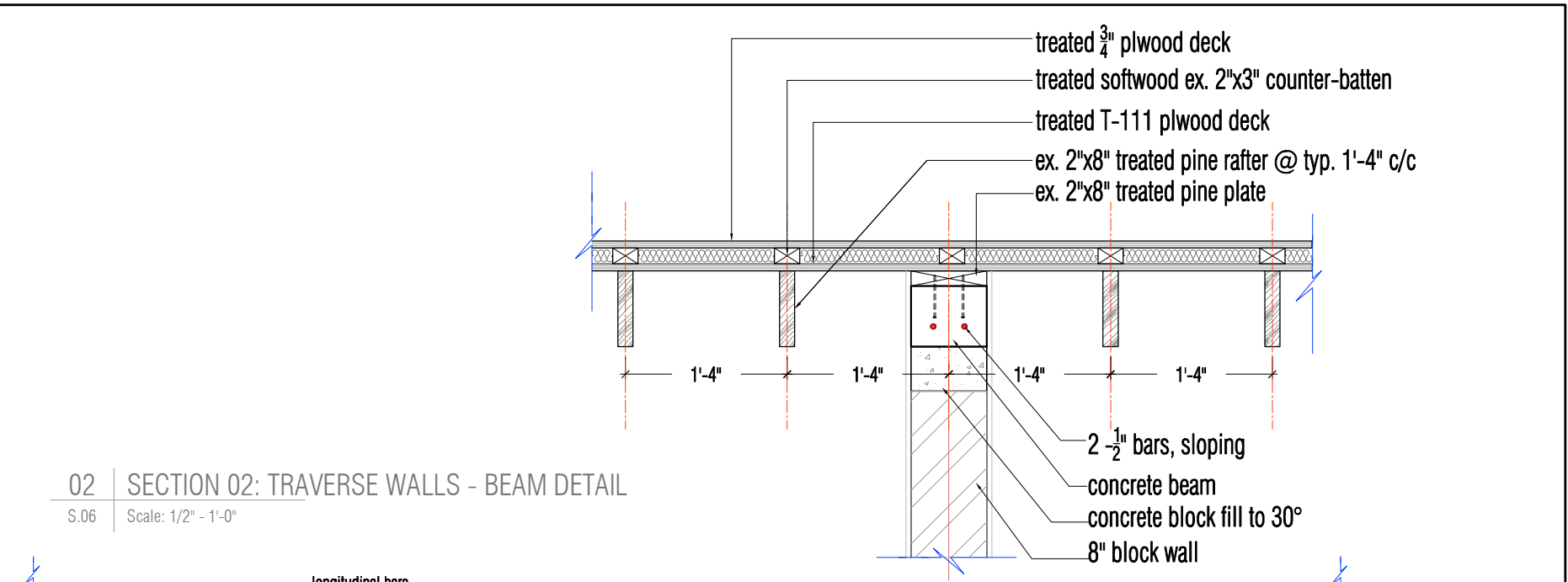
2 Bedroom Family Dwelling: Lot 157
Lookout, St Johns
Montserrat

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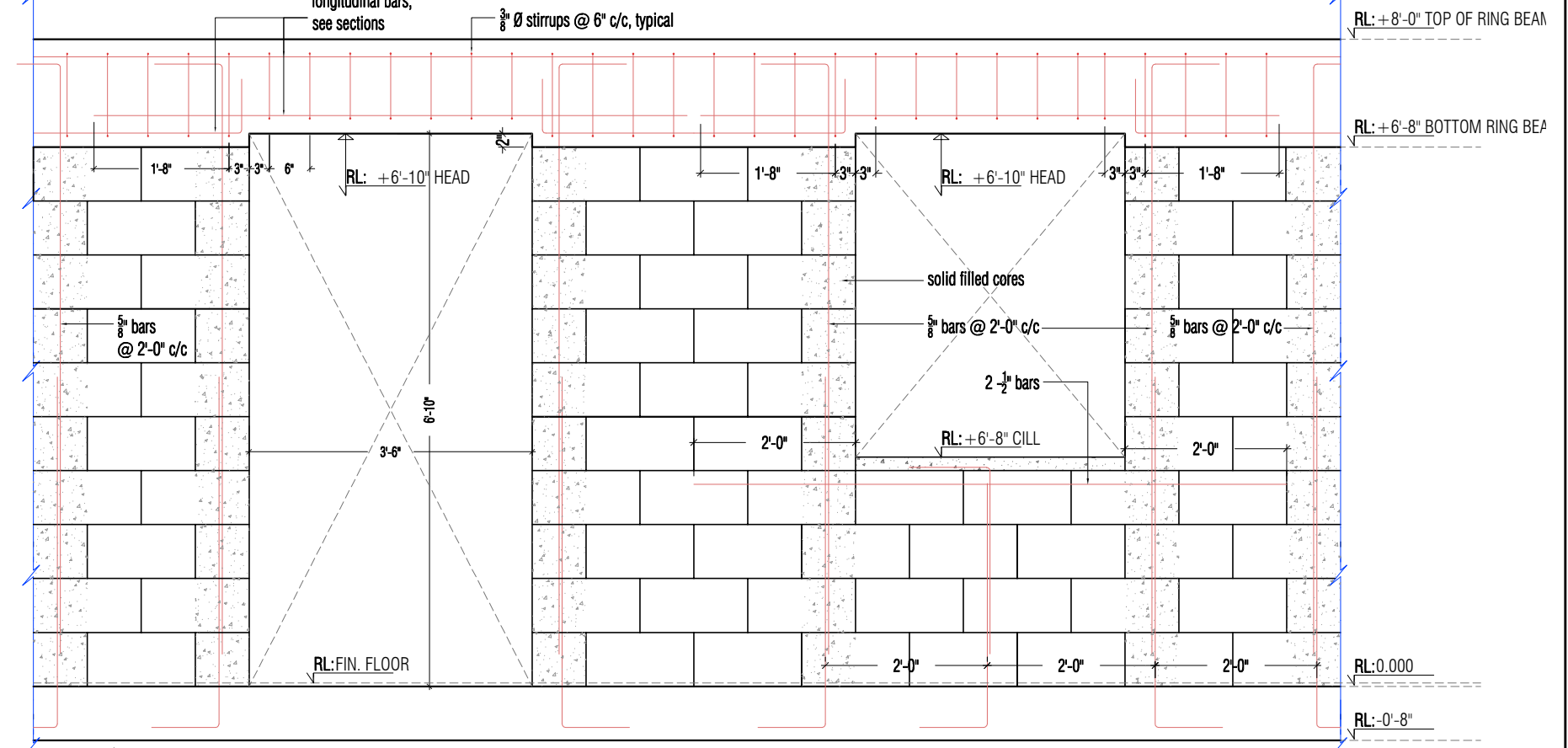
No.	Description	Date		
			ROOF PACKAGE	
			Project number	Project Number
			Date	23 Nov 17
			Drawn by	Eug
			Checked by	Eug
			Scale	$\frac{3}{4}$ " : 1'-0"



01 | SECTION 01: TRAVERSE WALLS - RIDGE DETAIL
S.06 | Scale: 3/4" - 1'-0"

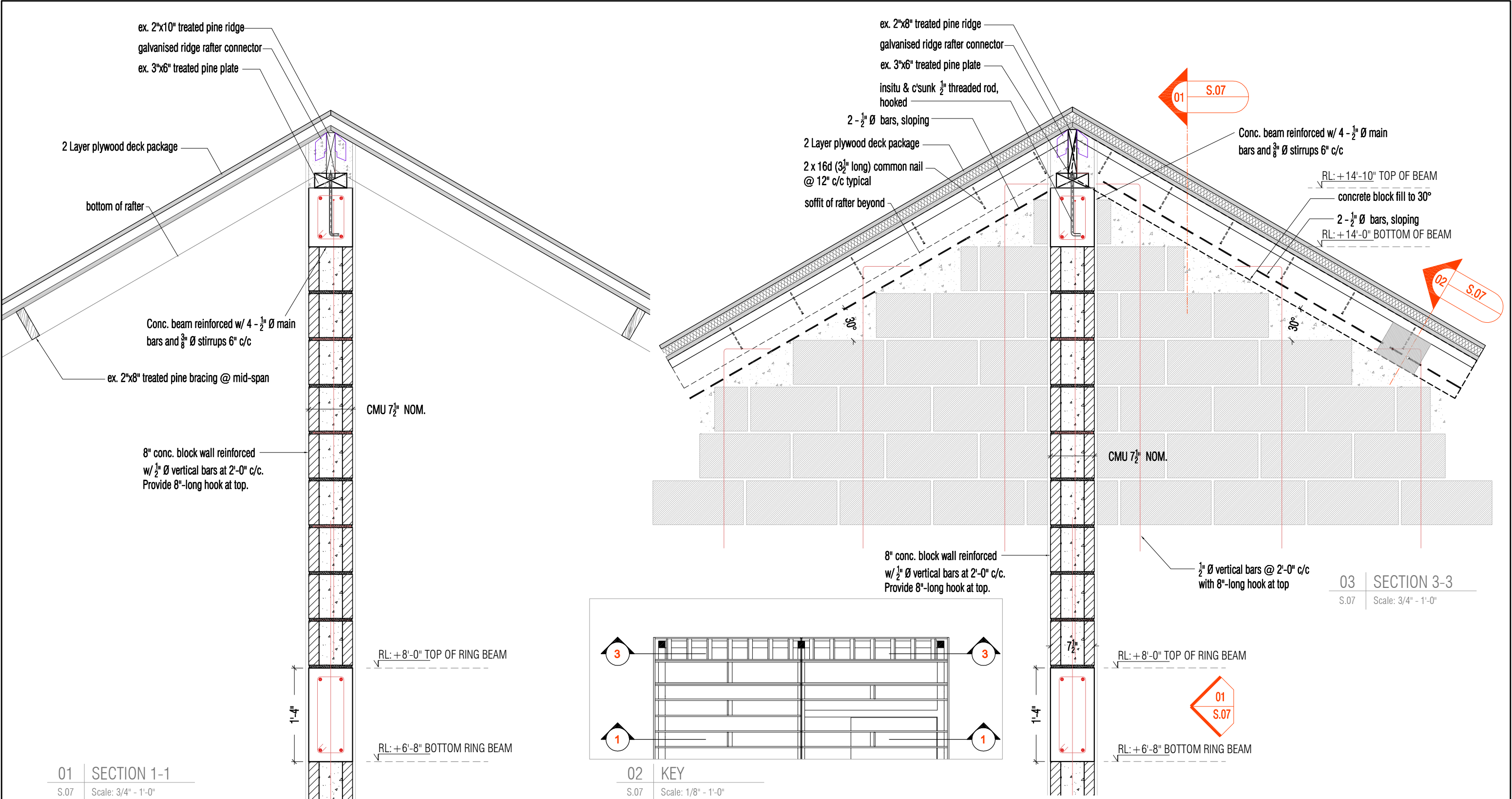


02 | SECTION 02: TRAVERSE WALLS - BEAM DETAIL
S.06 | Scale: 1/2" - 1'-0"

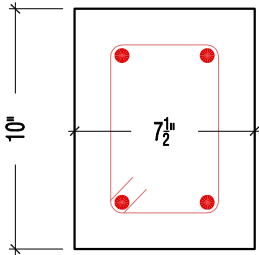
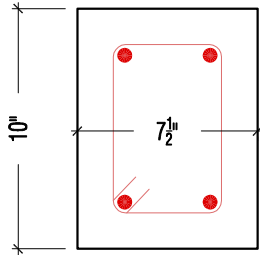
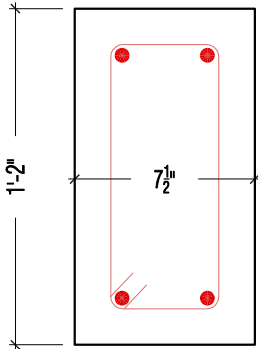
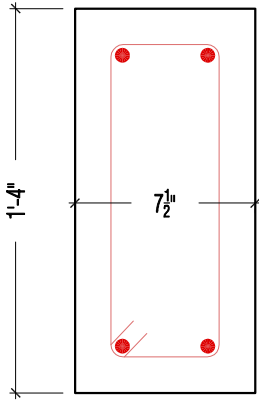


03 | ELEVATION 01: RING BEAM @ OPENINGS
S.06 | Scale: 1/2" - 1'-0"

	Public Works Department Ministry of Communications & Works P.O. Box 344 Montserrat West Indies T: (664) 491-6611 F: (664) 491-6659 E: govarch@gov.ms	MATHLE 2 Bedroom Family Dwelling: Lookout, Lot 157 St Johns Montserrat	1. This drawing is the exclusive property of the M.C.W.L. for Montserrat and reproduction in whole and/or part is prohibited without prior written consent. 2. The contractor shall confirm all datum, levels & dimensions and shall immediately report any discrepancies and/or omissions to the architect. 3. Do NOT scale drawings. 4. The architect is not responsible for the dimensions indicated on Site Plans unless taken directly from a REGISTERED boundary survey prepared by a licensed land surveyor. 5. This drawing to be read and coordinated with all other relevant consultants' drawings and project documentation.			No.	Description	Date	TRAVERSE WALL DETAILS, TYPICAL REINFORCEMENT @ OPENINGS	
						Project number CW-A-MP.33		S.06		
						Date 23 Nov 17				
						Drawn by Eug				
						Checked by Eug				
			Scale 3/4" : 1'-0"							



<div><div>PWD</div><div>Public Works Department</div><div>Ministry of Communications & Works</div><div>P.O. Box 344</div><div>Montserrat</div><div>West Indies</div><div>T: (664) 491-6611</div><div>F: (664) 491-6659</div><div>E: govarch@gov.ms</div></div>	<div>MATHLE</div> <div>2 Bedroom Family Dwelling: Lookout, Lot 157</div> <div>St Johns</div> <div>Montserrat</div>	<div>1. This drawing is the exclusive property of the M.C.W.L. for Montserrat and reproduction in whole and/or part is prohibited without prior written consent.</div> <div>2. The contractor shall confirm all datum, levels & dimensions and shall immediately report any discrepancies and/or omissions to the architect.</div> <div>3. Do NOT scale drawings.</div> <div>4. The architect is not responsible for the dimensions indicated on Site Plans unless taken directly from a REGISTERED boundary survey prepared by a licensed land surveyor.</div> <div>5. This drawing to be read and coordinated with all other relevant consultant's drawings and project documentation.</div>	No.	Description	Date	BEAMS: BELT & GABLES		
						Project number	CW-A-MP.33	S.07
						Date	23 Nov 17	
						Drawn by	Eug	
						Checked by	Eug	Scale



01 | BEAM A: WALLS

S.08 | Scale: 1 1/2" - 1'-0"

02 | BEAM B: DOORS/WINDOWS/PORTALS

S.08 | Scale: 1 1/2" - 1'-0"

03 | BEAM C: RIDGE

S.08 | Scale: 1 1/2" - 1'-0"

04 | COLUMN

S.08 | Scale: 1 1/2" - 1'-0"

PWD

Public Works Department

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West Indies
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MATHLE

2 Bedroom Family Dwelling: Lookout, Lot 157
St Johns
Montserrat

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2. The contractor shall confirm all datum, levels & dimensions and shall immediately report any discrepancies and/or omissions to the architect.
3. Do NOT scale drawings.
4. The architect is not responsible for the dimensions indicated on Site Plans unless taken directly from a REGISTERED boundary survey prepared by a licensed land surveyor.
5. This drawing to be read and coordinated with all other relevant consultant's drawings and project documentation.

No.	Description	Date	BEAM/ COLUMN SIZES, MISCELLANEOUS DETAILS	
			Project number	CW-A-MP.33
			Date	23 Nov 17
			Drawn by	Eug
			Checked by	Eug
			Scale	NTS